



Design Review Committee Staff Report

Meeting Date: March 9, 2017

Subject: Special Use Permit Case Number SB16-010
Applicant: Truckee Meadows Fire Protection District
Agenda Item Number: 6A
Project Summary: Construction and operation of a new fire station
Prepared by: Roger Pelham, MPA, Senior Planner
Washoe County Community Services Department
Planning and Development Division
Phone: 775.328.3622
E-Mail: rpelham@washoecounty.us

Description

Special Use Permit Case Number SB16-010 (Truckee Meadows Fire Protection District, Station Number 14) – Hearing, discussion and possible action to approve the landscaping and design plans pursuant to an approved special use permit for the construction and operation of a new fire station (Safety Services Civic Use Type).

- Applicant: Truckee Meadows Fire Protection District
Attn: Chief Moore
PO Box 11130
Reno, NV 89520
- Property Owner: Truckee Meadows Fire Protection District
Attn: Chief Moore
PO Box 11130
Reno, NV 89520
- Location: Northeast corner of Foothill Road and Broken Hill Road
- Assessor's Parcel Number: 044-300-19
- Parcel Size: ± 3 acres
- Master Plan Category: Suburban Residential (SR)
- Regulatory Zone: Medium Density Suburban (MDS)
- Area Plan: Southwest Truckee Meadows
- Citizen Advisory Board: South Truckee Meadows / Washoe Valley
- Development Code: Authorized in Article 810, Special Use Permits
- Commission District: 2 – Commissioner Lucey
- Section/Township/Range: Section 8, T18N, R20E, MDM,
Washoe County, NV

DESIGN REVIEW COMMITTEE / LANDSCAPING REVIEW

- a. Prior to any ground disturbing activity, the applicant shall submit a landscaping/architectural design plan to the Planning and Development Division for review and approval by the Design Review Committee. Said plan shall address, but not be limited to:
 1. Type and color of building materials: One or more materials with the appearance of natural stone, natural wood and red brick are encouraged to be included on all building elevations.
 2. General architectural design: Variation in color and texture of CMU (concrete masonry unit) block is encouraged.
 3. Parking, parking lot circulation and striping.
 4. Signage.
 5. Exterior lighting and lighting fixtures. All exterior lighting fixtures shall be shielded such that light is emitted downward only.
 6. Fencing.
 7. Trash enclosures.
 8. Landscaping material (if plant material: type, size at time of planting, maturation size at full growth, period of time between planting and full growth), landscaping location, landscaping irrigation system, and financial assurances that landscaping will be planted and maintained.
 9. Landscape designs will emphasize the use of native vegetation.
 10. Additional areas of "tall screen planting" (as shown on the landscape plans submitted with this special use permit application) shall be included between the structure and Broken Hill Road.
 11. A landscape berm is encouraged to be included between the structure and Broken Hill Road.
 12. The training tower shall be shown. "Tall screen planting" (as shown on the landscape plans submitted with this special use permit application) shall be included on the south and west sides of the training tower.
- b. Landscaping plans shall locate all trees within the boundaries of the subject parcel. Landscaping plantings located within the public right-of-way shall consist of shrubs and ground-cover only. Landscaping elements located within the public right-of-way shall not be greater than eighteen inches in height. The applicant shall provide a copy of an approved encroachment permit prior to any improvements within the public right-of-way.
- c. A certification letter or series of letters by a registered landscape architect or other persons permitted to prepare landscaping and irrigation plans pursuant to N.R.S. 623A shall be submitted to and approved by Planning and Development Division. The letter(s) shall certify that all applicable landscaping provisions of Articles 408, 410 and 412 of the

Development Code have been met. Any landscaping plans and the letter shall be wet-stamped. The letter shall indicate any provisions of the code that the Director of Planning and Development has waived.

- d. All landscaping shall be maintained in accordance with the provisions found in Section 110.412.75, Maintenance. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to the Planning and Development Division, prior to a Certificate of Occupancy. The plan shall be wet-stamped.

Applicant/Property Owner: Truckee Meadows Fire Protection District, attn.: Charles Moore, 1001 E. 9th Street, Building D, 2nd Floor, Reno, NV 89512

Professional Consultant: TSK Architects, attn.: Pat Pusich, 225 South Arlington St, Suite B, Reno, NV 89501

Others To Be Contacted: CFA, attn.: Angela Fuss, 1150 Corporate Blvd, Reno, NV 89502

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: TMFPD Station #14			
Project Description: New Fire Station (3 bays with crew quarters) Approx. 10,700 s.f..			
Project Address: Intersection of Foothill Road and Broken Hill Road			
Project Area (acres or square feet): 3.0 acres and building of approx. 10,700 s.f.			
Project Location (with point of reference to major cross streets AND area locator): South east corner of Foothill and Broken Hill Road. Nearest Major Street is Virginia Street.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
044-300-19	5.0		
Section(s)/Township/Range: Section 8 T18 R20			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner: Truckee Meadows Fire Protection District		Professional Consultant: Architect	
Name: Fire Chief: Charles Moore		Name: TSK Architects	
Address: 1001 E. 9th Street, Building D, 2nd Floor, Reno, NV		Address: 225 South Arlington Ave., Suite B, Reno, NV	
Zip: 89512		Zip: 89501	
Phone: 328-6123	Fax:	Phone: 775-857-2949	Fax:
Email: Cmoore@tmfpd.us		Email: ppusich@tska.com	
Cell: 313-8903	Other:	Cell:	Other:
Contact Person: Charles Moore, Fire Chief		Contact Person: Pat Pusich	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Washoe County		Name: CFA	
Address: 1001 E. 9th Street, Bldg. A, Reno, NV		Address: 1150 Corporate Blvd., Reno, Nv	
Zip: 89520		Zip: 89502	
Phone: 328-3636	Fax:	Phone: 775-856-7073	Fax:
Email: wwardell@washoecounty.us		Email: afuss@cfareno.com	
Cell: 750-7325	Other:	Cell: 771-6408	Other:
Contact Person: Bill Wardell		Contact Person: Angela Fuss	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: TMFPD / Charles Moore

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)

COUNTY OF WASHOE)

Truckee Meadows Fire Protection District

(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 044-300-19

Printed Name Charles Moore

Signed [Signature]

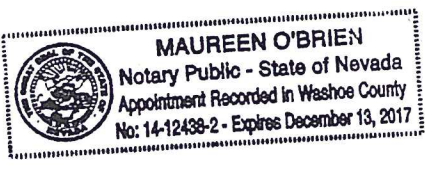
Address 1001 E. 9th St. Bldg. 2
Reno, NV 89512

Subscribed and sworn to before me this 6th day of February, 2017.

Maureen O'Brien
Notary Public in and for said county and state

My commission expires: 12/13/2017

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship



WASHOE COUNTY

Planning and Development

INTEGRITY COMMUNICATION SERVICE

Community Services Dept.
P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-6100
Fax: (775) 328-6133

January 27, 2017

RECEIVED

Nancy Parent, County Clerk
Washoe County
P.O. Box 11130
Reno, NV 89520

JAN 27 2017
INT. *Parent*
NANCY PARENT
WASHOE COUNTY CLERK

SUBJECT: Appeal of Special Use Permit Case Number SB16-010 (Truckee Meadows Fire Protection District, Station Number 14)

Appeal hearing and action to reverse the Board of Adjustment's denial of Special Use Permit Case Number SB16-010 (Truckee Meadows Fire Protection District, Station Number 14) which requested approval of a special use permit for the construction and operation of a new fire station.

The property is located at the southeast corner of Foothill Road and Broken Hill Road and within Section 8, Township 18 North, Range 20 East, MDM. The Assessor's Parcel Number is 044-300-19. The parcel is ± 3 acres in size. The Master Plan Category is Suburban Residential and the zoning is Medium Density Suburban (MDS). (Commission District 2.)

Dear Ms. Parent:

Pursuant to NRS 278.0235, please be advised of final action on January 24, 2017, by the Washoe County Board of County Commissioners in the above referenced case. The County Commission's final action overturned the Board of Adjustment's denial on December 1, 2016. After the public hearing was closed, Commissioner Jung made a motion and Commissioner Berkbigler seconded the motion to reverse the decision of the Board of Adjustment, and approve with conditions Special Use Permit Case Number SB16-010 (Truckee Meadows Fire Protection District, Station Number 14).

In its motion the County Commission included the following findings:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a fire station (safety services civic use type), and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;

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5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of any military installation; and
6. Southwest Truckee Meadows Area Plan Required Finding. Community character as described in the character statement can be adequately conserved through mitigation of any identified potential negative impacts.

In its motion the County Commission included the conditions of approval attached to this letter.

The Washoe County Commission gave reasoned consideration to information contained within the reports transmitted to the Washoe County Commission from the Washoe County Board of Adjustment, and the information received during the Washoe County Commission's public hearing.

The Board's action was unanimous and all five board members were present: Commissioner Lucey, Chair; Commissioner Berkbigler, Vice Chair; Commissioner Jung; Commissioner Herman; and, Commissioner Hartung.

Please provide a copy of this letter to our department indicating when this letter was received by your office.

Sincerely,



William H. Whitney
Planning and Development Division Director
Washoe County Community Services Department

Attachment: Conditions of Approval

cc: SB16-010 Case file

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Conditions of Approval

Special Use Permit Case Number SB16-010

The project approved under Special Use Permit Case Number SB16-010 shall be carried out in accordance with the Conditions of Approval granted by the Board of County Commissioners on January 24, 2017. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the Conditions of Approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Development Division.

Compliance with the Conditions of Approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the Conditions of Approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- o Prior to permit issuance (i.e., grading permits, building permits, etc.).
- o Prior to obtaining a final inspection and/or a certificate of occupancy.
- o Prior to the issuance of a business license or other permits/licenses.

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- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agency.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Development

1. The following conditions are requirements of the Planning and Development Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. This approval is for construction and operation of a new fire station (Safety Services Use Type). The Planning and Development Division shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits for phase one (main building, parking, landscaping and etc.) must be issued by Washoe County on or before December 1, 2018. The applicant shall submit complete construction plans and building permits for phase two (training tower) must be issued by Washoe County on or before December 1, 2021. The applicant shall submit complete construction plans and building permits for phase three (additional living accommodations) must be issued by Washoe County on or before December 1, 2024. The applicant shall complete construction within the time specified by each of the applicable building/construction permits.
- c. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

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Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- e. Prior to any ground disturbing activity, the applicant shall submit a landscaping/architectural design plan to the Planning and Development Division for review and approval by the Design Review Committee. Said plan shall address, but not be limited to:
1. Type and color of building materials: One or more materials with the appearance of natural stone, natural wood and red brick are encouraged to be included on all building elevations.
 2. General architectural design: Variation in color and texture of CMU (concrete masonry unit) block is encouraged.
 3. Parking, parking lot circulation and striping.
 4. Signage.
 5. Exterior lighting and lighting fixtures. All exterior lighting fixtures shall be shielded such that light is emitted downward only.
 6. Fencing.
 7. Trash enclosures.
 8. Landscaping material (if plant material: type, size at time of planting, maturation size at full growth, period of time between planting and full growth), landscaping location, landscaping irrigation system, and financial assurances that landscaping will be planted and maintained.
 9. Landscape designs will emphasize the use of native vegetation.
 10. Additional areas of "tall screen planting" (as shown on the landscape plans submitted with this special use permit application) shall be included between the structure and Broken Hill Road.
 11. A landscape berm is encouraged to be included between the structure and Broken Hill Road.
 12. [Removed]

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- f. Landscaping plans shall locate all trees within the boundaries of the subject parcel. Landscaping plantings located within the public right-of-way shall consist of shrubs and ground-cover only. Landscaping elements located within the public right-of-way shall not be greater than eighteen inches in height. The applicant shall provide a copy of an approved encroachment permit prior to any improvements within the public right-of-way.
- g. A certification letter or series of letters by a registered landscape architect or other persons permitted to prepare landscaping and irrigation plans pursuant to N.R.S. 623A shall be submitted to and approved by Planning and Development Division. The letter(s) shall certify that all applicable landscaping provisions of Articles 408, 410 and 412 of the Development Code have been met. Any landscaping plans and the letter shall be wet-stamped. The letter shall indicate any provisions of the code that the Director of Planning and Development has waived.
- h. All landscaping shall be maintained in accordance with the provisions found in Section 110.412.75, Maintenance. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to the Planning and Development Division, prior to a Certificate of Occupancy. The plan shall be wet-stamped.
- i. Sign area calculations shall be included with improvement plans and must show that the area of the proposed sign is within the applicable size limitations of Article 505 of the Development Code.
- j. The proposed sign shall maintain a setback of at least 5 feet within the boundaries of the subject parcel.
- k. Photometric plans shall include the property lines and shall show that there is no light or glare at any property line. Photometric plans shall include any light emitted from the proposed freestanding sign as well as any building-mounted signage.
- l. Sidewalk, curb and gutter shall be installed along the entire length of the parcel adjacent to Broken Hill Road.
- m. Prior to approval of any construction permits, the applicant shall provide a letter from the Army Corps of Engineers (ACOE) to Washoe County staff, verifying that there are no wetlands being impacted by the proposed fire station OR that the development proposal complies with the applicable ACOE requirements.
- n. The following **Operational Conditions** shall be required for the life of the project:
 - 1. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.

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2. Failure to comply with the Conditions of Approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning and Development Division.
3. The applicant and any successors shall direct any potential purchaser and/or the special use permit to meet with the Planning and Development Division to review Conditions of Approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Planning and Development Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
4. Except as otherwise required by law, the operations plan for this facility shall include the minimization of use of sirens in residential areas.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering and Capital Projects, which shall be responsible for determining compliance with these conditions.

Contact Name – Kimble Corbridge, 775.328.2054, kcorbridge@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. For construction areas larger than 1 acre, the developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The developer shall complete and submit the Construction Permit Submittal Checklist, place the 5 standard notes on the plans and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit. The County Engineer shall determine compliance with this condition

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- d. Applicant shall indicate, on the plans, the location to which exported materials will be taken and a grading permit shall be obtained for the import site.
- e. Exported materials shall not be sold without the proper business license.
- f. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
- g. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be designed and constructed to County standards and specifications to the satisfaction of the County Engineer.
- h. A detailed traffic report shall be prepared by a registered engineer and shall address driveway locations and turning movements, delivery truck patterns and movements, and provide recommendations on acceleration/deceleration lanes, storage lanes, and access control. The County Engineer shall be responsible for determining compliance with this condition and the traffic improvements that are required.
- i. Foothill Road shall be widened along its southeast side, from the intersection of Broken Hill Road to the northern property line. Improvements shall include three traffic lanes, each eleven feet in width, as well as a one-foot-wide paved shoulder on both sides of Foothill Road.
- j. Driveway locations and design shall conform to the Washoe County Code Article 436 for commercial driveways.
- k. The applicant shall submit a detailed geotechnical analysis and report for pavement design recommendations to the County Engineer for review and approval. The report shall be based on the estimated traffic loadings for a 20-year design life and shall include assumptions concerning the distribution of trucks and buses, to include project construction truck traffic. The resultant pavement thickness in the geotechnical analysis must be used if the report indicates a structural section that is stronger than minimum if required.
- l. Prior to ground-disturbing activity, a proposed Construction Traffic Haul Route Plan shall be submitted to the Engineering Division for review and approval. Any existing or proposed roads that will be used as construction haul routes and are not designated truck routes must be evaluated by a geotechnical study to determine the existing structural section and its load capacity. If the pavement section is inadequate to support the proposed construction loadings, the roadway must be redesigned or reconstructed as needed to provide a 20-year design life in accordance with the AASHTO Interim Guide for Flexible Pavement.

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- m. The applicant shall install one streetlight at the corner of Broken Hill and Foothill Roads, located within the Washoe County rights-of-way.
- n. A pedestrian walkway plan shall be approved by the County Engineer prior to the finalization of construction improvement drawings.
- o. A detailed hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- p. Any increase in storm water runoff resulting from the development and based upon the 100-year storm shall be detained on site to the satisfaction of the County Engineer.
- q. The developer shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.
- r. All improvements within the county right-of-way shall be constructed in accordance with the latest county codes and the latest county standard specifications and details.
- s. A street excavation permit is required for any work (including, but not limited to, driveway and culvert installations and utility connections) to be performed within the Washoe County right-of-way.
- t. A Regional Road Impact Fee (RRIF) will be required for the fire station.

Washoe County Health District

- 3. The following conditions are requirements of the Health District, which shall be responsible for determining compliance with these conditions. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

Contact Name – Albee, Charlene, 775.784.7211, cable@washoecounty.us

- a. A dust control permit shall be obtained prior to any construction activities if the construction activities will encompass more than an acre.

*** End of Conditions ***



SOUTH MEADOWS MARKETPLACE DR

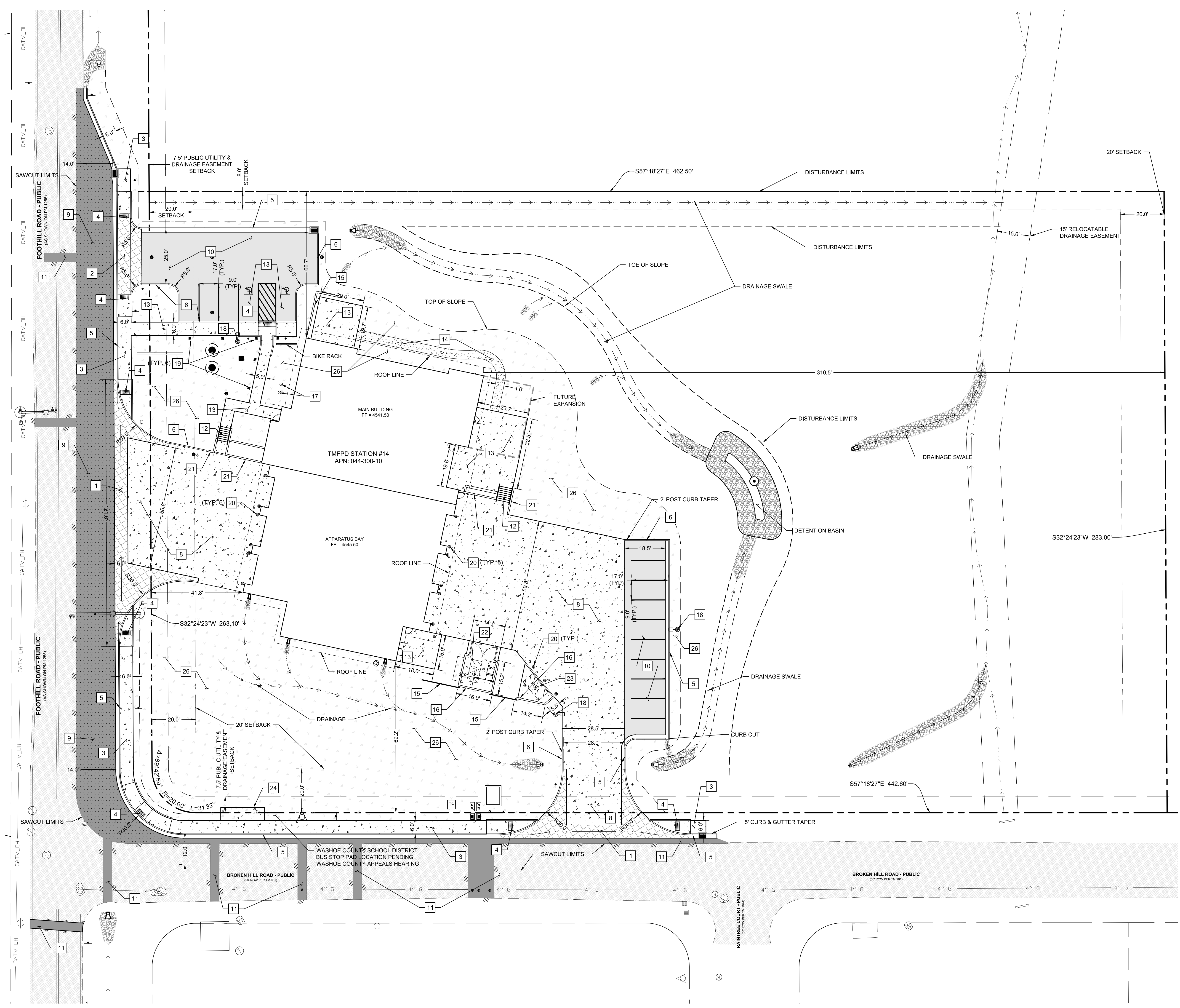
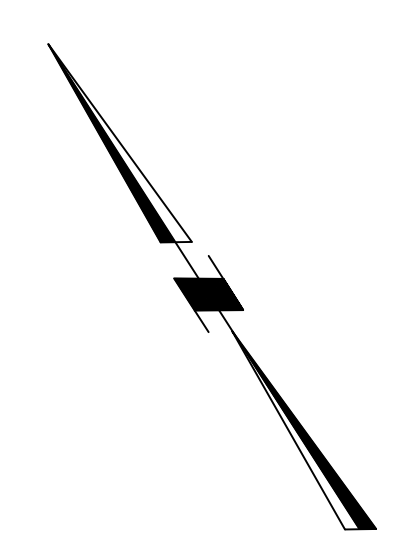
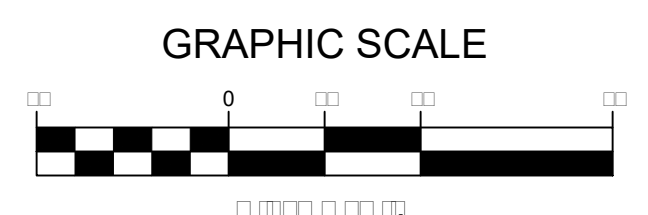
Winco

Whispering
Vine

Fire Station #14

Marvin Picollo
Elementary
School





CONSTRUCTION NOTES

- 1 INSTALL P.C.C VALLEY GUTTER
REF. DETAIL 3, SHEET C6.0
- 2 INSTALL P.C.C DRIVEWAY DRIVEWAY APRON
REF. DETAIL 6, SHEET C6.0
- 3 INSTALL P.C.C SIDEWALK
REF. DETAIL 1, SHEET C6.0
- 4 INSTALL ADA RAMP
REF. DETAILS 2 - 6, SHEET C6.0
- 5 INSTALL TYPE 1 P.C.C CURB AND GUTTER
REF. DETAILS 4, SHEET C6.0
- 6 INSTALL P.C.C POST CURB
REF. DETAILS 2, SHEET C6.1
- 7 INSTALL P.C.C HEADER CURB
REF. DETAILS 1, SHEET C6.1
- 8 INSTALL P.C.C DRIVEWAY
REF. DETAILS 3, SHEET C6.1
- 9 INSTALL ASPHALT PAVING - HEAVY VEHICLE TRAFFIC
REF. DETAILS 4, SHEET C6.1
- 10 INSTALL ASPHALT PAVING - LIGHT VEHICLE TRAFFIC
REF. DETAILS 4, SHEET C6.1
- 11 INSTALL PERMANENT PAVEMENT PATCH
REF. DETAILS 5, SHEET C6.1
- 12 INSTALL P.C.C STAIRS
REF. ARCHITECTURAL □ STRUCTURAL PLAN
- 13 INSTALL P.C.C SIDEWALK/PATIO
REF. DETAIL 3, SHEET C6.1
- 14 INSTALL COMPACTED DG PATHWAY
REF. LANDSCAPE PLANS
- 15 INSTALL SCREENING WALL
REF. ARCHITECTURAL □ STRUCTURAL PLANS
- 16 INSTALL CMU WALL FOR FUELING STATION □ TRASH ENCLOSURE
REF. ARCHITECTURAL □ STRUCTURAL PLANS
- 17 INSTALL FLAG POLES
REF. ARCHITECTURAL PLANS
- 18 INSTALL LIGHT POLE
REF. ELECTRICAL PLANS
- 19 INSTALL LIGHT BOLLARDS
REF. ELECTRICAL PLANS
- 20 INSTALL PERMANENT BOLLARD
REF. DETAIL 3, SHEET C6.5
- 21 INSTALL RETAINING WING WALL
REF. ARCHITECTURAL □ STRUCTURAL PLANS
- 22 INSTALL TRASH BIN ENCLOSURE WITH GENERATOR PAD □ 4' SCREENED GATE
REF. ARCHITECTURAL PLANS
- 23 INSTALL CONVAULT 1000 GALLON FUELING TANK - PRECAST SPLIT 750/250
REF. DETAIL 6, SHEET C6.2
- 24 INSTALL CONCRETE SCHOOL BUS STOP WAITING AREA
REF. DETAIL 3, SHEET C6.1
- 25 NOT USED
- 26 INSTALL LANDSCAPING
REF. LANDSCAPE ARCHITECT PLANS

SITE PLAN
SCALE: 1" = 20'

LEGEND

- | | | | |
|--|--|--|---|
| | PROPOSED CONCRETE | | PROPOSED LANDSCAPE AREA |
| | PROPOSED COMMERCIAL DRIVEWAY | | PROPOSED RIPRAP ENERGY DISIPTION |
| | PROPOSED ASPHALT CONCRETE PAVEMENT - HEAVY TRAFFIC | | PROPOSED DECOMPOSED GRANITE PATHWAY
REF. LANDSCAPE PLANS |
| | PROPOSED ASPHALT CONCRETE PAVEMENT - PERMANENT PATCH | | PROPOSED DRAINAGE SWALE |
| | PROPOSED ASPHALT CONCRETE PAVEMENT - PARKING | | EXISTING ASPHALT ROADWAY |

CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVALS FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.
4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.
5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

DD PLAN SET
02-03-2017

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT STATION #14 SITE PLAN FOOHILL ROAD □ BROKEN HILL ROAD RENO, NV 89511	WASHINGTON COUNTY PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS SURVEYORS • CONSTRUCTION INSPECTION 1150 CORPORATE BLVD. RENO, NV 89502 (775) 856-1150 FAX: (775) 856-1180 WWW.CFARENO.COM
JOB NO. 15023.01 BY DATE 02-03-2017 SHEET C3.0 21 OF	PROFESSIONAL SEAL: PRELIMINARY NOT FOR CONSTRUCTION

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Project

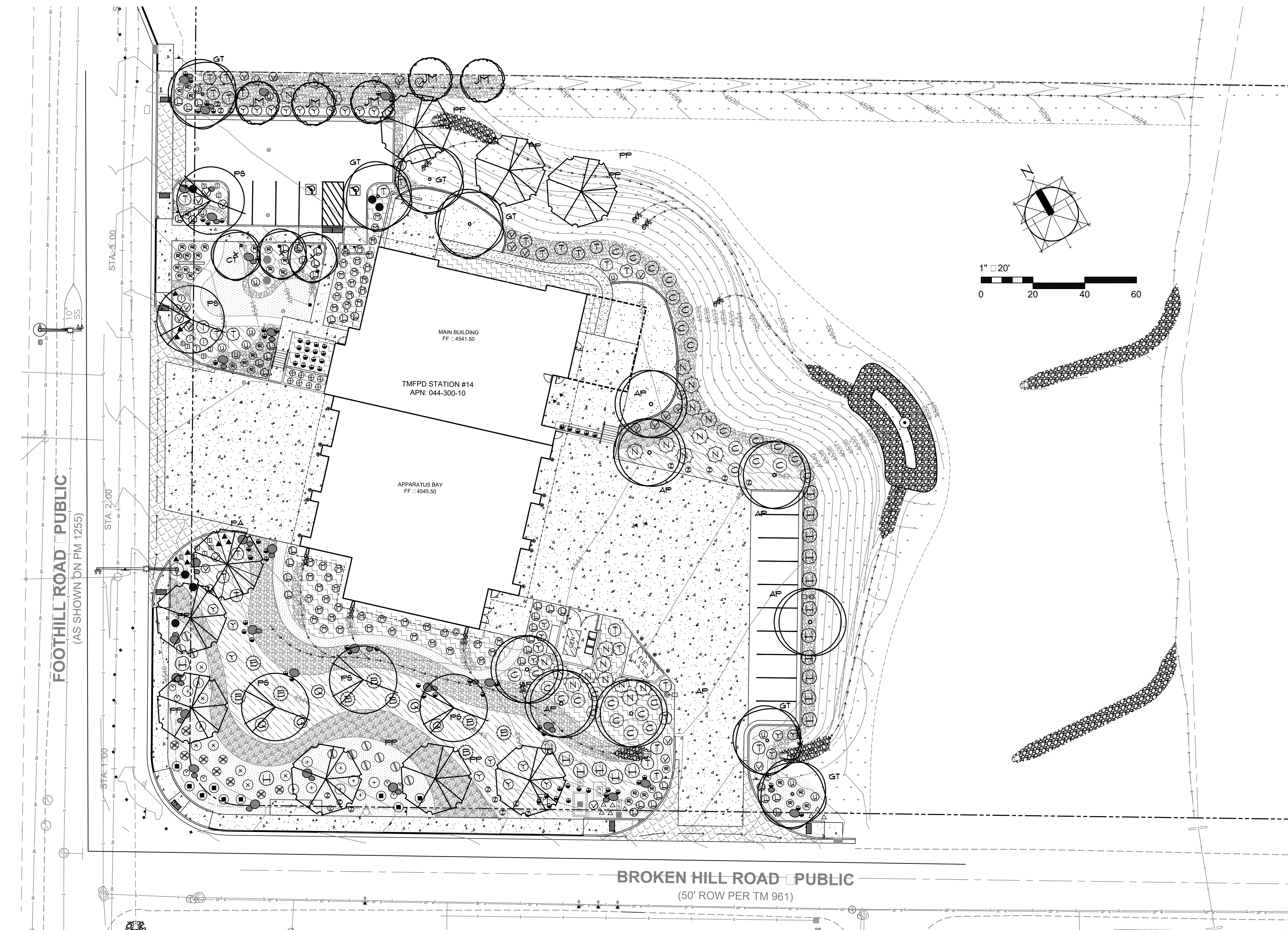
TMFPD FIRE STATION #14

**FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511**

Job No: 14-095-00

Owner

**TRUCKEE MEADOWS
FIRE PROTECTION
DISTRICT**



SEEDED AREAS MIX AND NOTES

SPECIES	PURE LIVE SEED (PLS) #/ACRE	PLS*/ACRE
SAGEBRUSH BIG WYOMING	0.50	
RABBITBRUSH RUBBER	0.50	
BITTERBRUSH	1.00	
SALTBRUSH FOURWING	2.00	
MORMON TEA GREEN	1.00	
INDIAN RICEGRASS NEZPAR	3.00	
WILDFORTE BASIN	2.00	
BLUEGRASS SANDBERG COME	1.00	
WHEATGRASS SIBERIAN VAVILOV	5.00	
WHEATGRASS STREAMBANK 50	2.00	
FLAX BLUE	0.25	
FENSTEMON PALMER	0.25	
YARROW WHITE	0.25	
TOTAL PLS #/ACRE	21.75	

SOIL SHALL BE REGRADED SMOOTH AND ANY DEBRIS REMOVED. IF EXISTING AREAS ARE COMPACTED, THE EXISTING SOIL SHALL BE SCARIFIED TO A MIN. DEPTH OF 4" AND RAKED SMOOTH PRIOR TO SEEDING.

EXISTING WEEDS SHALL BE REMOVED FROM THE SOIL AFTER FINISH GRADING IN THE SEEDING AREAS. SEEDING SHALL BE IRRIGATED FOR 3 WEEKS MINIMUM PRIOR TO SEEDING. ALL SPROUTED SEEDLINGS SHALL BE SPRAYED WITH AN HERBICIDE PRIOR TO SETTING SEED ON A REGULAR BASIS THROUGHOUT THE IRRIGATION USED GERMINATION PERIOD PRIOR TO SEEDING WITH THE SPECIFIED MIX.

FERTILIZE AT THE RATE OF 10 LBS PER 1000 SF. WITH 16-20-20 FERTILIZER OR PER SOIL ANALYSIS PRIOR TO APPLYING AND RAKING IN THE SEED.

SEEDING APPLICATION PROCEDURES:
ALL SEED SHOULD BE UNIFORMLY BROADCAST AND LIGHTLY COVERED BY RAKING OR DRAGGING.

ALL SEED SHALL BE GUARANTEED A MIN. OF 90% PURE LIVE SEED (PLS).

THE DESIGNATED SEEDING AREAS SHALL BE SPRAYED WITH A TACKIFIER AFTER SEED HAS BEEN BROADCAST AND RAKED. THE TACKIFIER SHALL BE 1" BINDER APPLIED @ THE RATE OF 200 LBS. PER ACRE.

ALL SEEDING AREAS SHALL BE APPLIED WITH ECOAEGIS BONDED FIBER MATRIX OR EQUAL FOR EROSION CONTROL. ECOAEGIS SHALL BE HYDRAULICALLY APPLIED PER THE MANUFACTURER'S DIRECTION AT THE RATE OF 2000 LBS./AC. THE BONDED FIBER MATRIX SHALL BE INSTALLED THE SAME DAY AS SEEDING TO PREVENT WIND EROSION OF THE SEED AND SOILS.

THE REVEGETATION AREAS SHALL BE SEEDING IN LATE FALL, AFTER NOV. 1 OR IN EARLY SPRING PRIOR TO MARCH IF CONST. SCHEDULE ALLOWS TO AVOID SUPPLEMENTAL IRRIGATION WHERE NO IRRIGATION IS SPECIFIED.

IF SUPPLEMENTAL IRRIGATION IS REQUIRED IN AREAS WHERE NO IRRIGATION IS SPECIFIED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR TEMPORARY IRRIGATION FOR APPROVAL PRIOR TO SEEDING.

IRRIGATED AREAS SHALL RECEIVE SUPPLEMENTAL IRRIGATION AS REQUIRED TO ESTABLISH THE SEEDING AREA AS STATED BELOW. IRRIGATION SHALL BE SUPPLIED AFTER ESTABLISHMENT ONE TIME WEEKLY DURING THE GROWING SEASON.

REVEGETATION IRRIGATION (if req.)
IRRIGATION TO SEEDING AREAS SHALL BE SUPPLIED DAILY DURING GERMINATION. THE MULCH SHALL BE KEPT MOIST UNTIL THE PLANT MATERIAL HAS GERMINATED. FOLLOWING GERMINATION THE SEEDLINGS WILL REQUIRE IRRIGATION ONCE A DAY FOR ONE MONTH UNTIL WELL ESTABLISHED. (THIS TIME FRAME MAY VARY DEPENDENT UPON THE WEATHER.) SUPPLEMENTAL IRRIGATION SHALL BE SUPPLIED FOR A MINIMUM OF TWO GROWING SEASONS.

IRRIGATED REVEGETATED AREAS SHALL BE ACCEPTABLE IF THEY EXHIBIT A MINIMUM OF 90% COVERAGE BY AT LEAST THREE DIFFERENT SPECIFIED SPECIES WITHIN 3 MONTHS OF PLANTING. NON-IRRIGATED SEEDING AREAS SHALL BE ACCEPTED WITH A MINIMUM OF 60% OF THE AREA ESTABLISHED WITH AT LEAST 3 DIFFERENT SPECIFIED SPECIES AFTER THE FIRST NATURAL PRECIPITATION SEASON.

LANDSCAPE REQUIREMENTS

TOTAL DEVELOPMENT SITE AREA: 11265 SF. +-
LANDSCAPE REQUIRED (20%): 14252 SF.
LANDSCAPE PROVIDED (46%): 24215 SF.
PAVED AREA: 25218 SF.
TURF AREA: 1354 SF.
PARKING PROVIDED: 15 SPACES
TREES REQUIRED:
1/50 LF OF STREET FRONTAGE (510 LF.) = 10 TREES
1/20 PARKING SPACES = 2 TREES
1/20 LF OF RESIDENTIAL ADJACENCY (150 LF.) = 8
TOTAL TREES REQUIRED: 20
TOTAL TREES PROVIDED: 36

PLANT LIST:

SYM NO.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LARGE DECIDUOUS TREES				
AP 7	ACER PLATANOIDES	NORWAY MAPLE	2" MIN. CAL.	30' MIN.
GT 6	GLEDDITIA T. INERMIS	HONEY LOCUST	2" MIN. CAL.	30' MIN.
PS 6	POPULUS TREMLIOIDES	QUAKING ASPEN	2" MIN. CAL.	21'
CT 3	CERCIS CANADENSIS	REDBUD	2" MIN. CAL.	20'
EVERGREEN TREES				
FP 8	FINUS PONDEROSA	PONDEROSA PINE	10' MIN. HEIGHT	20' MIN.
FA 1	FICEA ABIES 'GLAUCA'	COLORADO BLUE SPRUCE	10' MIN. HEIGHT	20' MIN.
JM 5	JUNIFERUS C. 'WICHITA BLUE'	JUNIFER	6' MIN. HEIGHT	20' MIN.
SHRUBS				
B 3	BUDDEIA D. 'MISS MOLLY'	BUTTERFLY BUSH	5 GAL.	6'
Q 5	CHAENOMELES J. 'JET TRAIL'	FLW. QUINCE	5 GAL.	5'
H 19	RHUS TRILOBATA	SUMAC	5 GAL.	5'
R 35	ROSA 'HEIDLAND RED'	RED ROSE	5 GAL.	6'
N 22	VIBURNUM X FRAGENSE	FRAGUE VIBURNUM	5 GAL.	8'
T 30	RHUS 'GROW LOW'	GROW LOW SUMAC	5 GAL.	5'
L 35	LAVANDULA 'IRENE DOYLE'	LAVENDER	5 GAL.	3'
M 45	MAHONIA REPENS	CREeping MAHONIA	5 GAL.	3'
V 28	PEROVONIA A. 'BLUE SPIRE'	RUSSIAN SAGE	1 GAL.	6'
Y 26	CARYOPTERIS	BLUE MIST SPIRAEA	1 GAL.	4'
WOORCHESTER GOLD'				
① 8	FRUNUS ANDERSONII	DESERT PEACH	1 GAL.	5'
E 9	EPHEDRA VIRIDIS	MORMON TEA	1 GAL.	5'
② 3	FURSHIA TRIDENTATA	BITTERBRUSH	1 GAL.	6'
③ 9	ARTEMISIA TRIDENTATA	BIG SAGE	1 GAL.	4'
④ 9	ERIGOGONUM UMBELLATUM	SULPHUR FLW. BUCKWHEAT	1 GAL.	3'
U 12	FINUS M. 'SHERWOOD COMPACT'	DW. MUGHO PINE	5 GAL. OR B4B	3'
I 5	GENISTA	BROOM	5 GAL.	3'
C 30	CEANOTHUS VELUTINUS	TOBACCO BRUSH	5 GAL.	6'
PERENNIALS				
⑤ 8	SEDUM 'AUTUMN JOY'	SEDUM	1 GAL.	2'
⑥ 6	DELOSPERERMA COOPERII	HARDY ICEPLANT	1 GAL.	3'
⑦ 14	CALAMAGROSTIS ACUTIFLORA	FEATHERED GRASS	1 GAL.	2'
⑧ 9	ACHILLEA MILLEROLIM	YARROW	1 GAL.	3'
Z 17	ZAUSCHNERIA CALIFORNICA	CALIFORNIA RUCHSIA	1 GAL.	2'
⑨ 8	SPHAERALCEA MUNROANA	ORANGE GLOBE MALLOW	1 GAL.	3'
⑩ 11	GAILLARDIA G. 'MANDARIN'	BLANKET FLW.	1 GAL.	3'

LANDSCAPE NOTES:

THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (IE: PAVING, PLUMBING, ELECTRICAL, ETC.)

ALL GRADES SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AFTER IRRIGATION MAINS AND FINAL GRADING IS COMPLETE PRIOR TO PLANTING.

SOIL IN THE PLANT BACKFILL SHALL BE AMENDED PER A SOIL ANALYSIS REPORT AND RECOMMENDATIONS PREPARED BY AN AGRICULTURAL SUITABILITY SOIL TESTING SERVICE. THE LANDSCAPE CONTRACTOR SHALL TAKE A MIN. OF 6 SAMPLES AFTER ALL PLANTER AREAS ARE BROUGHT TO GRADE. THE CONTRACTOR SHALL SUBMIT ONE COMBINED SAMPLE OF THE 6 TAKEN FOR ANALYSIS AND RECOMMENDATIONS. A COPY OF THE SOIL ANALYSIS SHALL BE SUBMITTED TO THE OWNER FOR BASE BID. THE CONTRACTOR SHALL ASSUME THE FOLLOWING: 6 CY. OF HUMUS PER/1000 SF AND 6 LBS. OF FERTILIZER/1000 SF. INCORPORATED INTO THE PLANT PIT EXCAVATION SOIL EACH CONTAINER PLANT. ALL SOIL SHALL BE LOOSENEED TO DEPTH OF 8" IN ALL PLANTER AREAS PRIOR TO PLANTING. RAKE OUT ALL ROCK AND DEBRIS GREATER THAN 1 1/2" DIAMETER.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACING INDICATED ON THE PLAN. SYMBOLS PREVAIL OVER QUANTITIES LISTED IN THE PLANT LEGEND.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROVIDE PLANT MATERIAL AS SPECIFIED ON THIS PLAN. THE CONTRACTOR MAY SUBMIT A REQUEST TO PROVIDE SUBSTITUTIONS FOR THE SPECIFIED PLANT MATERIAL UNDER THE FOLLOWING CONDITIONS:

A. ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN TWO WEEKS OF THE AWARD OF CONTRACT. SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL PLANT MATERIAL AS DETERMINED BY THE OWNER'S REPRESENTATIVE. ANY CHANGES MUST HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE.

B. THE REQUEST MUST BE ACCOMPANIED BY AT LEAST THREE NOTICES FROM PLANT SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE PRIOR TO THE CONSTRUCTION PHASE.

ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF ANSI (260) AMERICAN STANDARD FOR NURSERY STOCK SHALL BE REJECTED. THE CONTRACTOR SHALL RECEIVE ON-SITE APPROVAL OF PLANT MATERIAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL PRIOR TO PLANTING MAY RESULT IN REJECTION AND THE CONTRACTOR SHALL REPLACE ALL REJECTED PLANT MATERIAL AT HIS EXPENSE. THE OWNER RESERVES THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.

ALL PLANT SUBSTITUTIONS SHALL BE REVIEWED AND ACTION TAKEN BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE CONTRACTOR SHALL NOTIFY THE OWNER FOR PLANT REVIEW AND APPROVAL 48 HRS. PRIOR TO DELIVERY. ANY MATERIAL NOT ACCEPTABLE SHALL BE REMOVED IMMEDIATELY FROM THE SITE.

THE OWNER'S REPRESENTATIVE MAY AT ANYTIME UNTIL FINAL ACCEPTANCE DIRECT THE CONTRACTOR TO REMOVE UNACCEPTABLE MATERIAL WITHOUT COST TO THE OWNER.

THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR UPON FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE SITE INCLUDING WATER SCHEDULING FOR THE ONE YEAR GUARANTEE PERIOD. ANY PLANTS REPLACED UNDER THIS GUARANTEE SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE DATE OF REPLACEMENT.

THE LANDSCAPE CONTRACTOR SHALL INSURE POSITIVE DRAINAGE IN ALL PLANTER AREAS PER CIVIL ENGINEER'S GRADING PLAN AFTER LANDSCAPE IMPROVEMENTS ARE COMPLETE.

REMOVE ALL WEEDS AND DEBRIS IN AND AROUND NEWLY INSTALLED PLANT MATERIAL. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED AREAS PRIOR TO INSTALLATION OF MULCHES.

LANDSCAPE LEGEND

	D6 MULCH - 4" DEPTH OF DECOMPOSED GRANITE MULCH SHALL BE PLACED OVER NON-NOVEN WATER PERMEABLE KEEP BARRIER FABRIC DENITT PRO 5 OR EQUAL TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO LAYING FABRIC.
	ROCK MULCH - 4" DEPTH OF 1/2" MOCHA ROCK MULCH SHALL BE PLACED OVER NON-NOVEN WATER PERMEABLE KEEP BARRIER FABRIC DENITT PRO 5 OR EQUAL TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO LAYING FABRIC.
	COBBLE MULCH - 4" DEPTH OF 1/2" COBBLE ROCK MULCH SHALL BE PLACED OVER NON-NOVEN WATER PERMEABLE KEEP BARRIER FABRIC DENITT PRO 5 OR EQUAL TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO LAYING FABRIC.
	COBBLE MULCH - 4" DEPTH 3"-5" COBBLE ROCK MULCH SHALL BE PLACED OVER NON-NOVEN WATER PERMEABLE KEEP BARRIER FABRIC DENITT PRO 5 OR EQUAL TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO LAYING FABRIC.
	TURF AREA.
	2'-6" DIA. ROUNDED GRANITE BOULDERS UTILIZE EXISTING ON-SITE COORDINATE HARVESTING AND STOCKPILING AND OR PLACEMENT WITH GENERAL CONTRACTOR DURING ON-SITE GRADING. SEE DETAIL SHEET L3.0.
	BARK MULCH: 4" MIN. DEPTH OF SHREDDED FINE OR CEDAR MULCH ALL PLANT BASINS.

SUBMIT SAMPLE OF ALL IMPORT MATERIAL FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.

DESIGN DEVELOPMENT

REVISIONS	
DATE	DESCRIPTION

Sheet Title

LANDSCAPE PLAN

Date: 11-14-16

Sheet No:

TMFPD - STATION 14 SIGNAGE PLAN

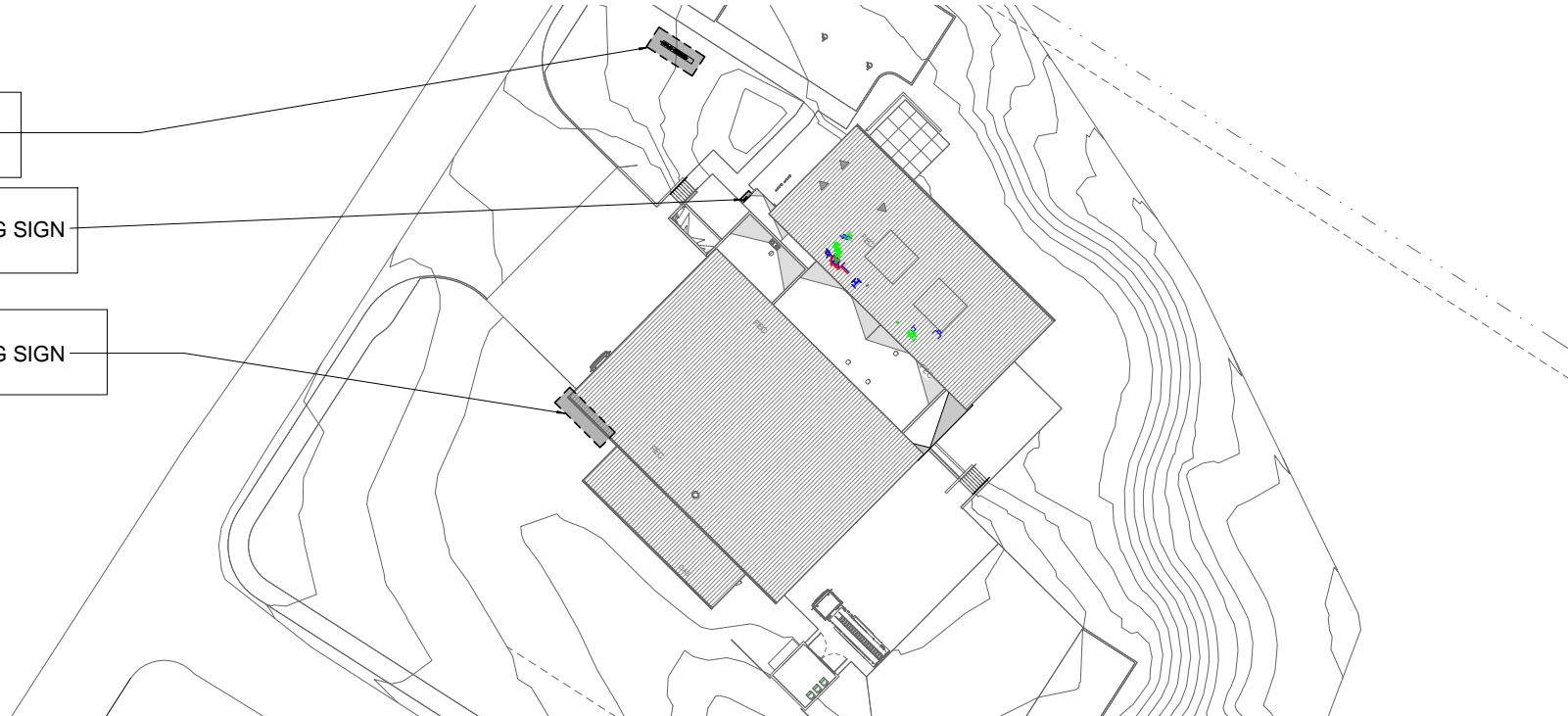


3
5 NORTH ELEVATION CANOPY
SCALE: 1/4" = 1'-0"

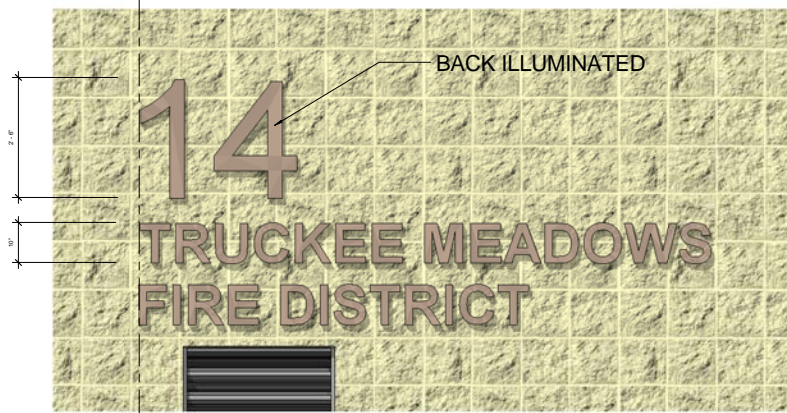
MONUMENT SIGN

EXTERIOR BUILDING SIGN

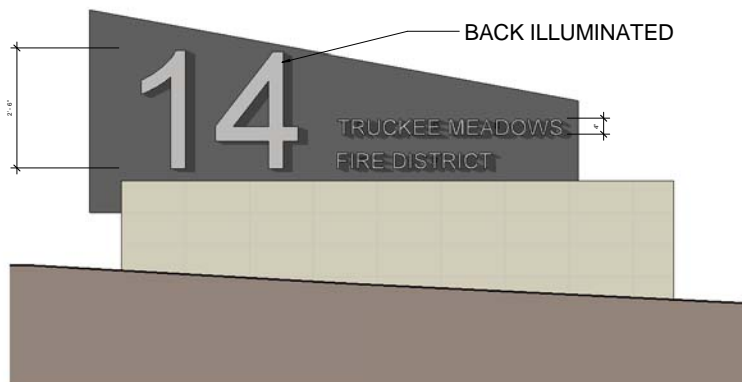
EXTERIOR BUILDING SIGN



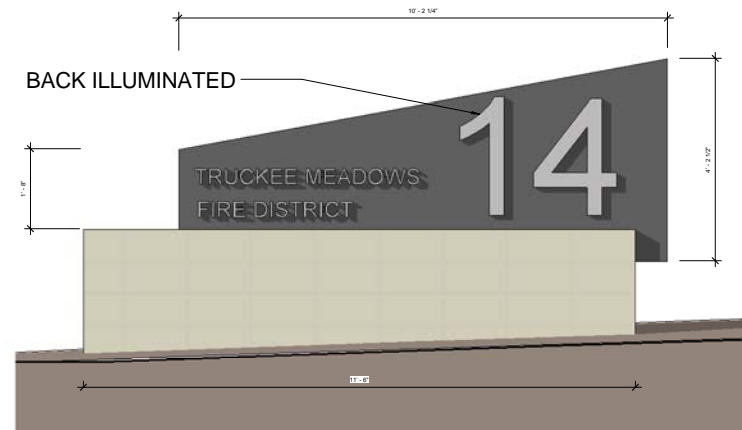
1 SIGNAGE PLAN
SCALE: 1" = 20'-0"



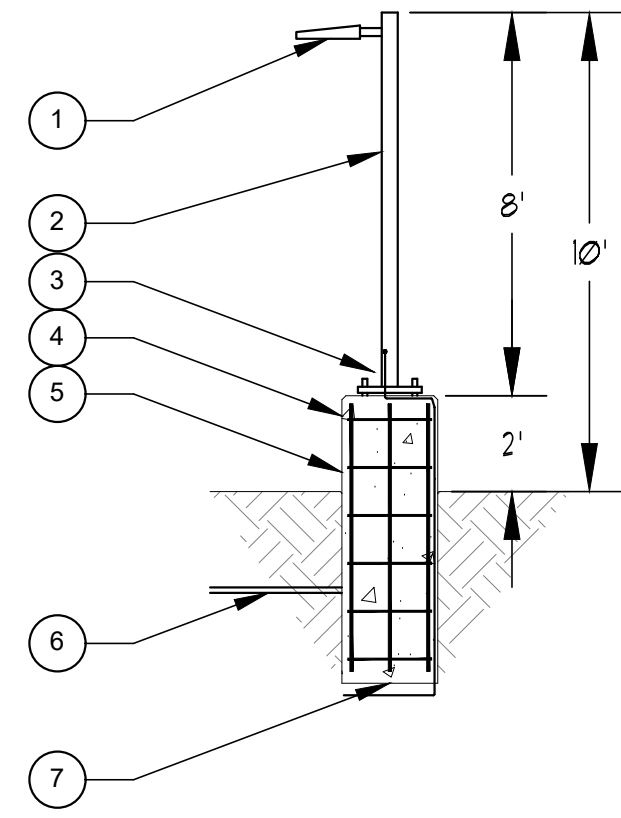
2 ELEVATION SIGN - EXTERIOR WEST ELEVATION
SCALE: 3/4" = 1'-0"



3 MONUMENT SIGN ELEVATION - BACKSIDE
SCALE: 3/4" = 1'-0"



4 MONUMENT SIGN ELEVATION - FRON SIDE
SCALE: 3/4" = 1'-0"



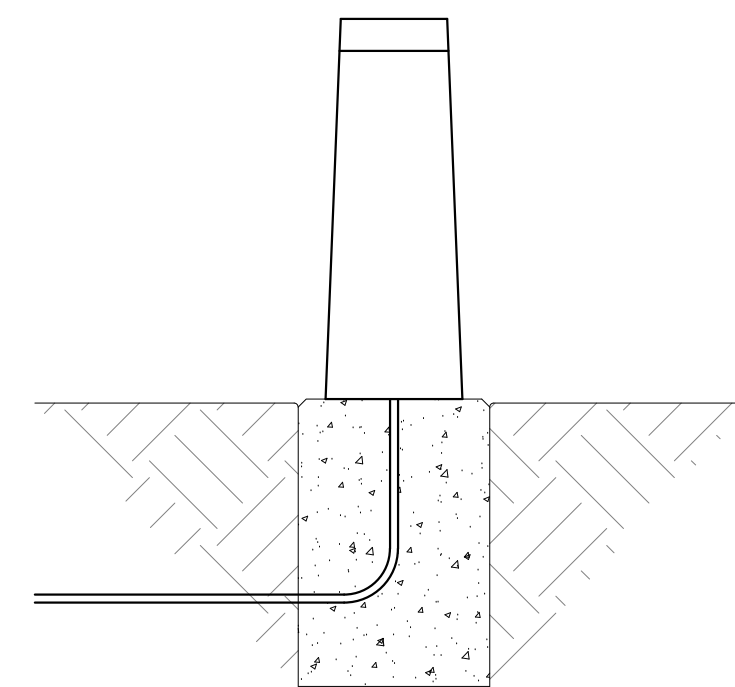
POLE LUMINAIRE DETAIL

SCALE: 1/4" = 1'-0"

B
E2.01

POLE # LUMINAIRE NOTES:

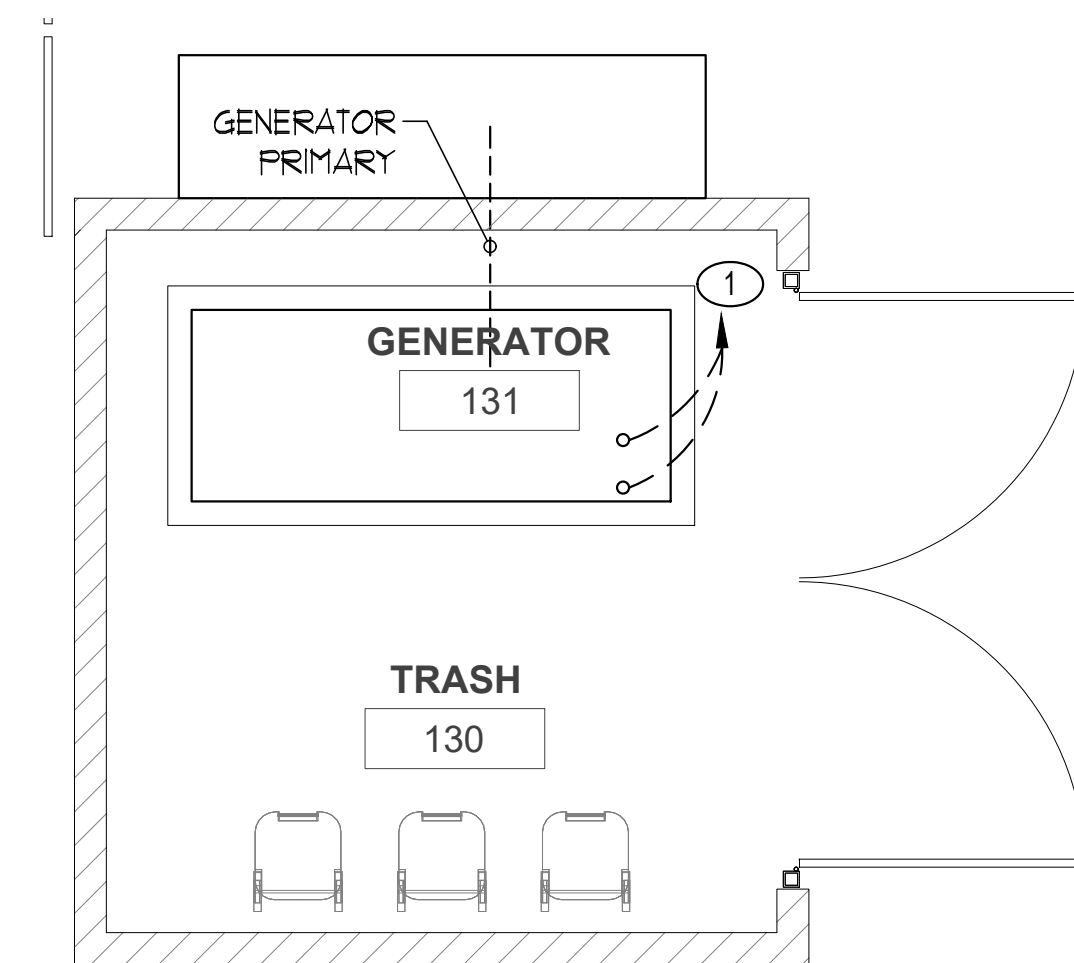
- 1 ACQUITY BRAND'S 105X10-LED-400-10000-40K-14M-MVOLT LUMINAIRE. (LUMINAIRE EPA = 12 SQ.FT. EACH)
- 2 ACQUITY BRAND'S 985-10-40 SQUARE STRAIGHT STEEL POLE (10' HIGH X 4" SQUARE) WITH ANCHOR BOLT MOUNTING FLANGE AND FINISH TO MATCH EXISTING POLES. POLE RATED FOR 100 MPH WINDS, WITH 13 GUST FACTOR, WITH LUMINAIRE(S) ATTACHED.
- 3 INSTALL DRY-PAK CONCRETE BETWEEN POLE MOUNTING FLANGE AND CONCRETE FOUNDATION TACK WELD ATTACHMENT NUTS. PROVIDE AND INSTALL MATCHING BASE BOLT COVER.
- 4 STEEL REINFORCED CONCRETE POLE BASE. CONTRACTOR SHALL RETAIN STRUCTURAL ENGINEER TO DESIGN POLE BASE AND SPECIFICATIONS.
- 5 ALL POLE BASES SHALL BE LOCATED NOT LESS THAN TWO FEET BACK FROM THE EDGE OF ANY ADJACENT CURB OR SIDEWALK EDGE.
- 6 UNDERGROUND ELECTRICAL LIGHTING SYSTEM CONDUITS AND WIRING SHALL BE MINIMUM 24" BELOW FINISHED GRADE.
- 7 1/2" - #4 BARE SOL. CU COILED IN BOTTOM OF FOUNDATION HOLE FOR LIGHTNING GROUND. EXTEND LIGHTNING GROUND CONDUCTOR UP ALONG INSIDE EDGE OF FOUNDATION AND SECURELY BOND LIGHTNING GROUND CONDUCTOR TO POLE SHAFT.



BOLLARD LUMINAIRE DETAIL

SCALE: 1/4" = 1'-0"

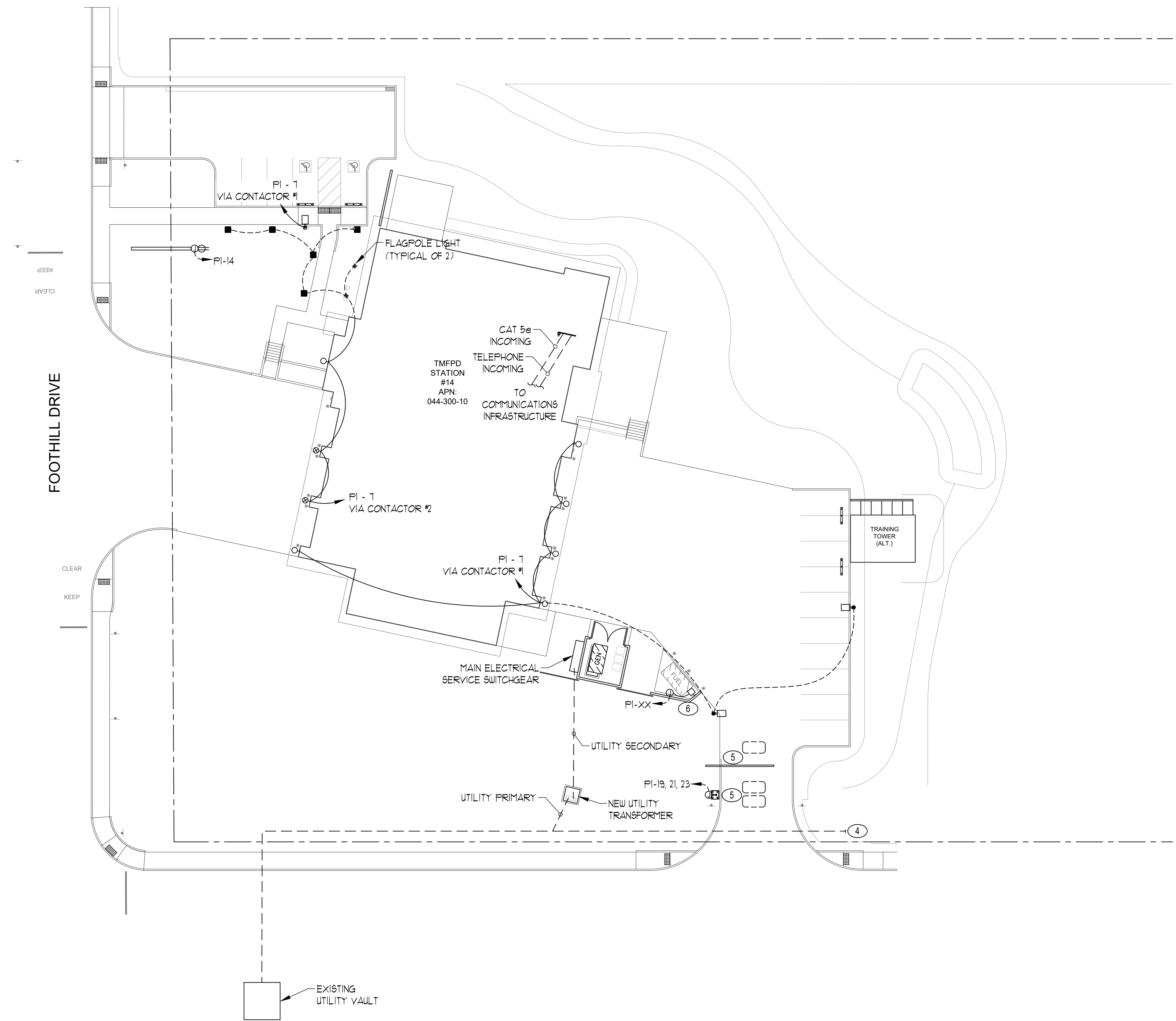
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AUXILIARY BUILDING ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

D
E2.01



SITE ELECTRICAL PLAN

SCALE: 1" = 20'-0"

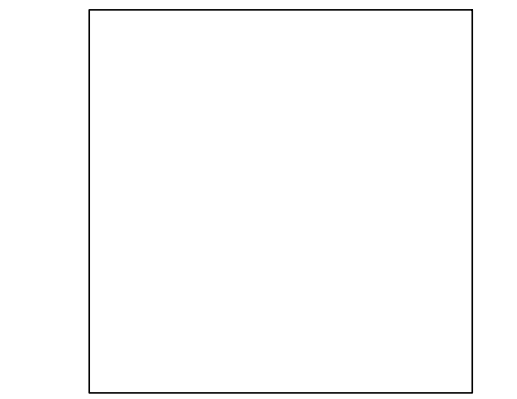
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NOTES: (THIS SHEET ONLY)

- 1 PROVIDE AND INSTALL 1" CONDUIT WITH TWO (2) - #2 Cu & (1) - #2 Cu GROUND TO PANEL PI-40, PI-42 EACH FOR CONNECTION TO GENERATOR BLOCK HEATER AND GENERATOR BATTERY CHARGER.
- 2 INSTALL LIGHTED BOLLARD AND ASSOCIATED CONDUIT AND CONDUCTORS PER MANUFACTURER'S RECOMMENDATIONS.
- 3 ALL SITE LIGHTING SHALL COMPLY WITH WASHOE COUNTY ADOPTED STANDARDS FOR LIGHT AND GLARE (SECTION 110.414.21).
- 4 COORDINATE WITH NV ENERGY FOR EXTENSION OF UNDERGROUND CONDUIT ACROSS DRIVEWAY FOR FUTURE EXPANSION.
- 5 MOTORIZED GATE AND ASSOCIATED ELECTRICAL CONNECTIONS ARE PART OF ADD ALTERNATE I.
- 6 PROVIDE AND INSTALL EXTERIOR MOUNTED SWITCH WITH WEATHERPROOF COVER FOR CONNECTION TO FUEL STATION WALLPACK.

tsk

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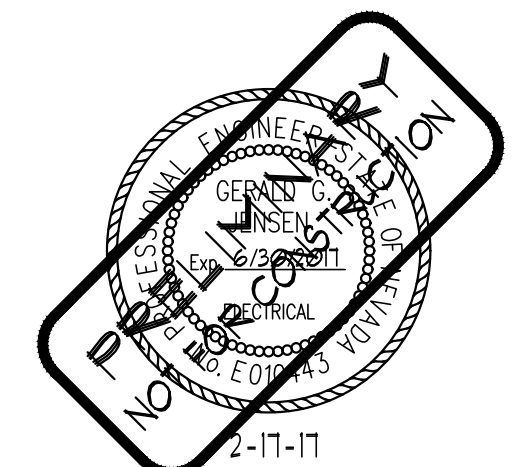
Project
STATION #14

FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511

Job No: 14-095.00

Owner

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT



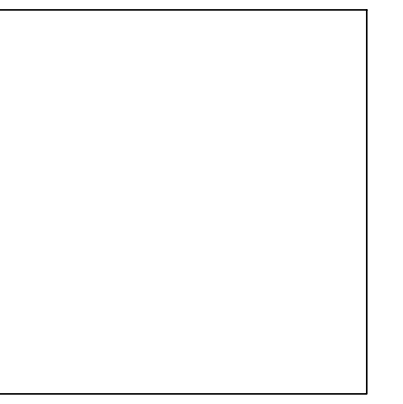
DESIGN DEVELOPMENT

REV	DATE	REVISIONS DESCRIPTION

Sheet Title
SITE ELECTRICAL PLAN

Date: 2.17.2017
Sheet No:

E2.01



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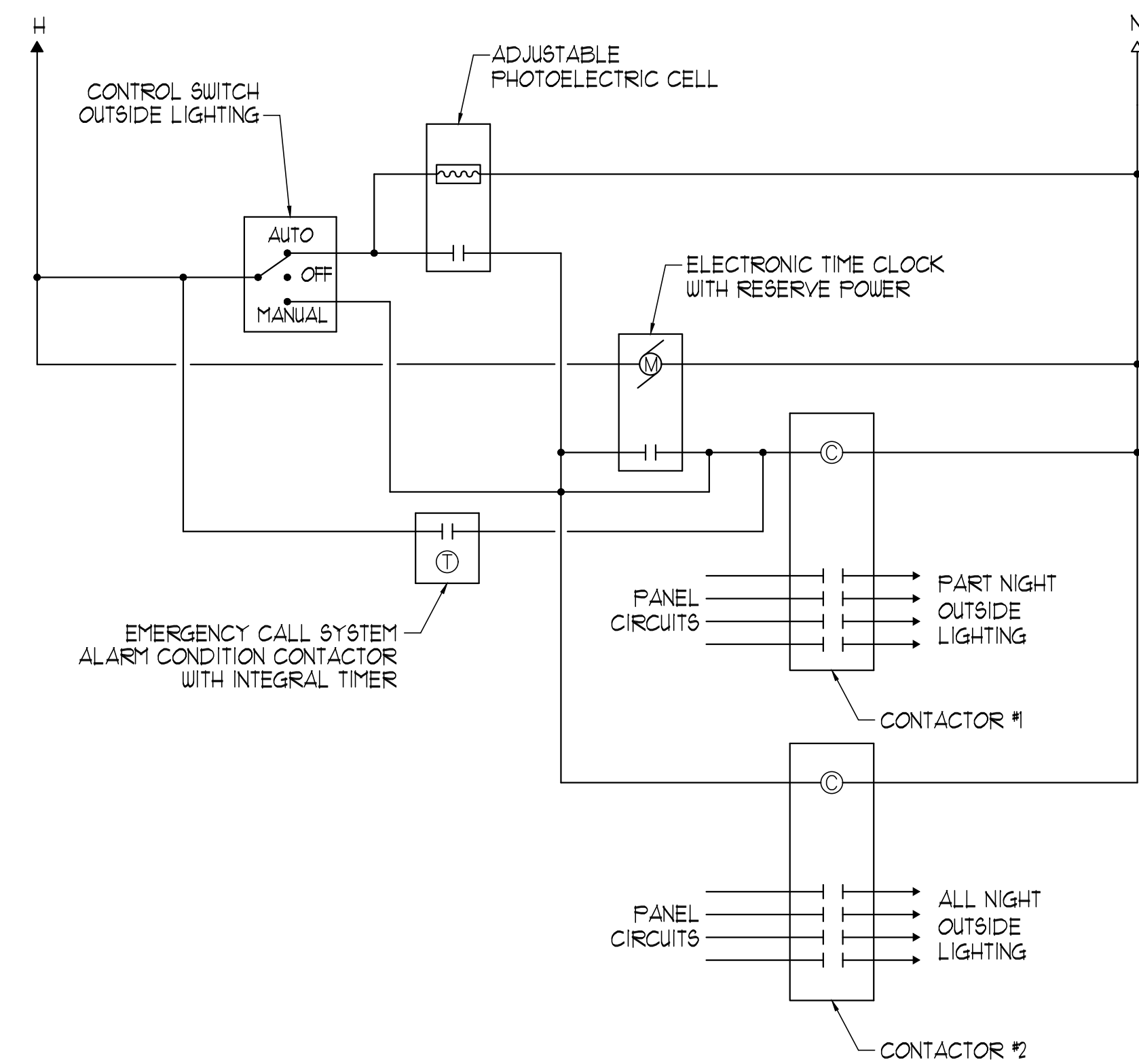
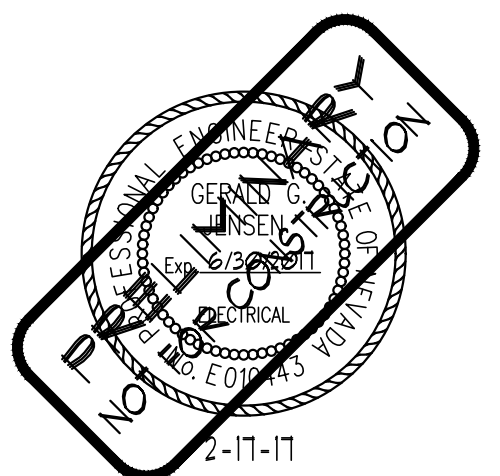
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Job No: 14-095.00

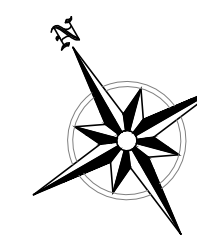
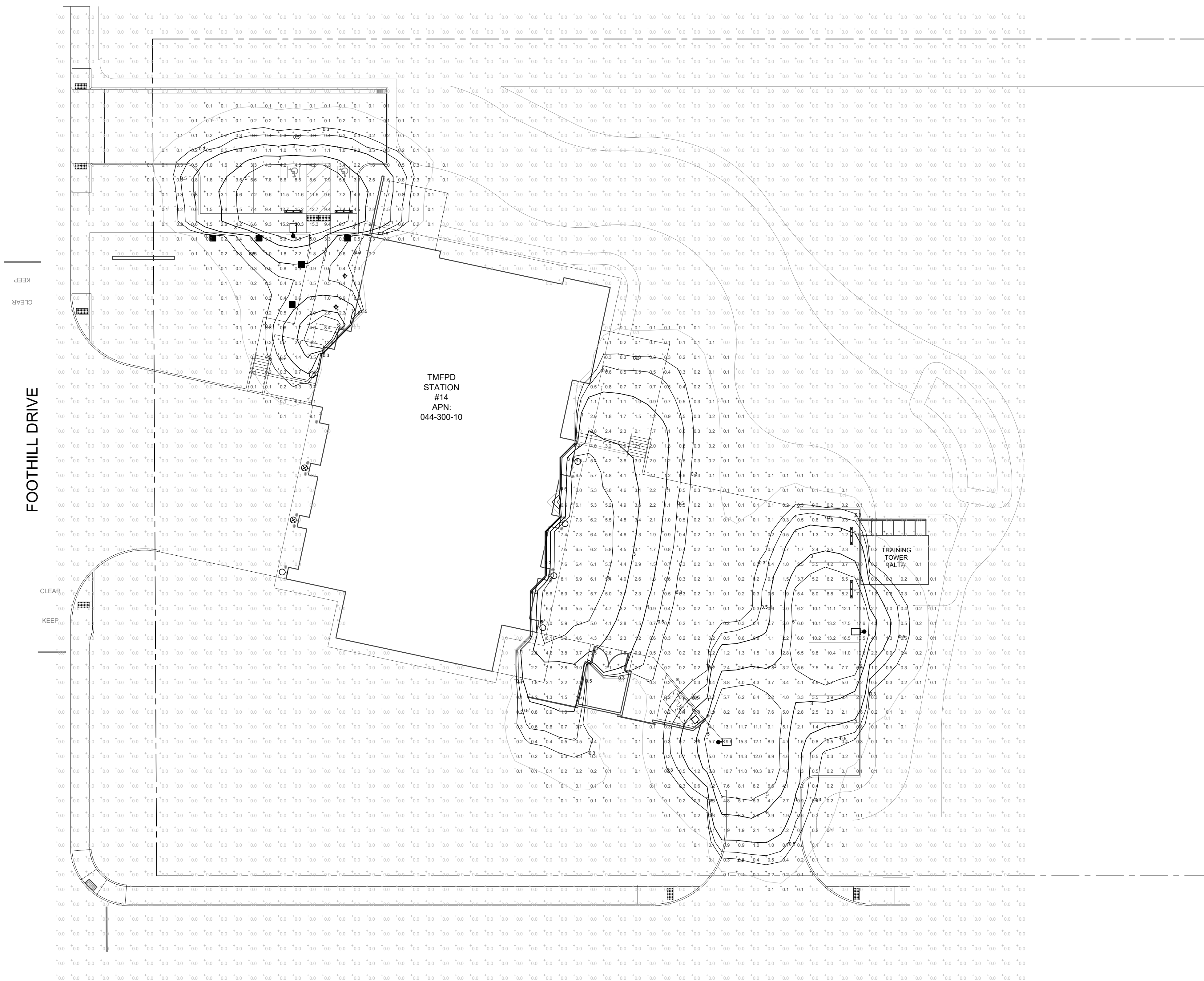
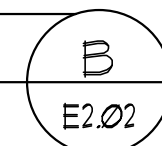
Owner
**TRUCKEE MEADOWS
FIRE PROTECTION
DISTRICT**



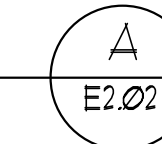
OUTSIDE LIGHTING CONTROL SCHEMATIC NOTES:

1. LIGHTING CONTACTOR(S) SHALL BE 20A, 600V, 3-POLE, NEMA ENCLOSED
2. TIME CLOCK SHALL BE INTERMATIC * ET 2800 OR EQUIVALENT.
3. PHOTOCELL SHALL BE INTERMATIC * K4100/4200 OR EQUIVALENT.
4. LOCATE OUTSIDE LIGHTING CONTROLS (H.O.A., CLOCKS AND CONTACTORS) ADJACENT TO FEEDING ELECTRICAL PANEL. LOCATE PHOTOCELL OUTSIDE ON ROOF FACING NORTH.

OUTSIDE LIGHTING CONTROL
DIAGRAM
NOT TO SCALE



SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



DESIGN DEVELOPMENT

REVISIONS		DESCRIPTION
REV	DATE	

Sheet Title

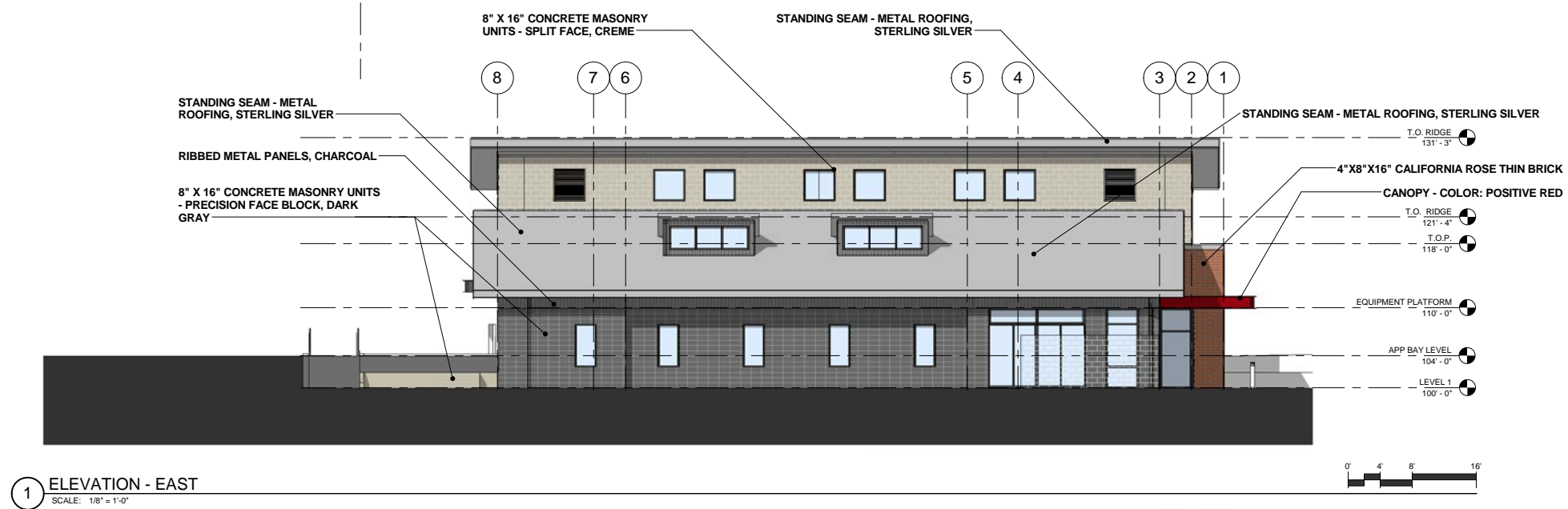
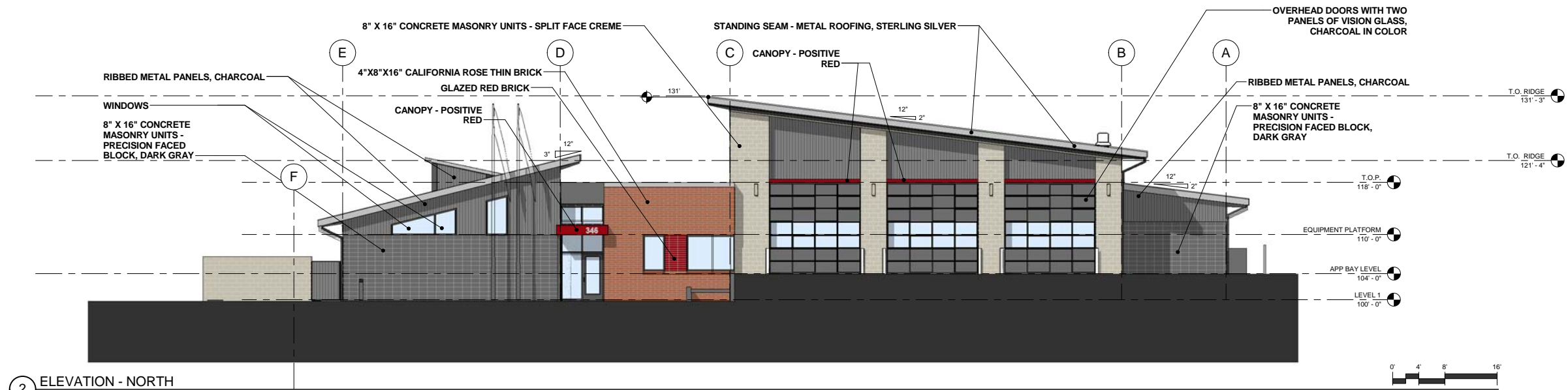
**SITE PHOTOMETRIC
PLAN**

Date: 2.17.2017

Sheet No:

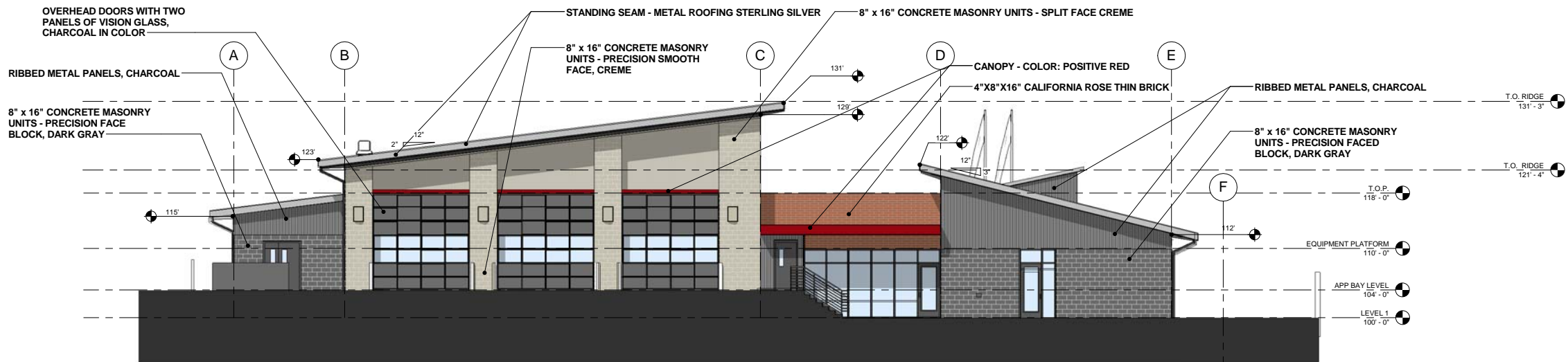
E2.02

TMFPD - STATION 14 NORTH - EAST ELEVATIONS

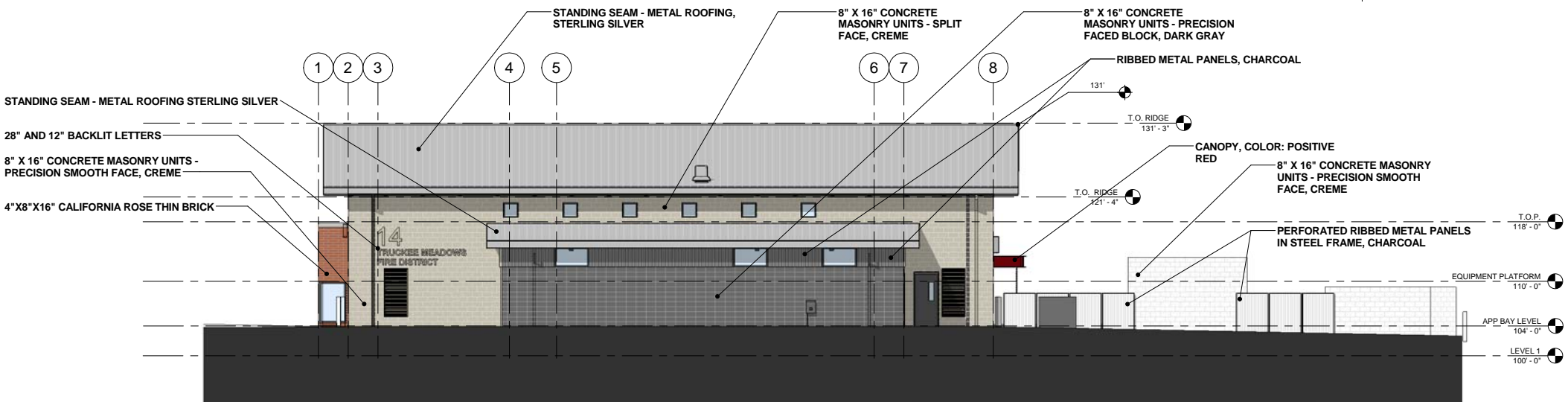


STATION #14
FOOTHILL RD & BROKEN HILL RD.
02/17/17

TMFPD - STATION 14 SOUTH - EAST - ELEVATIONS



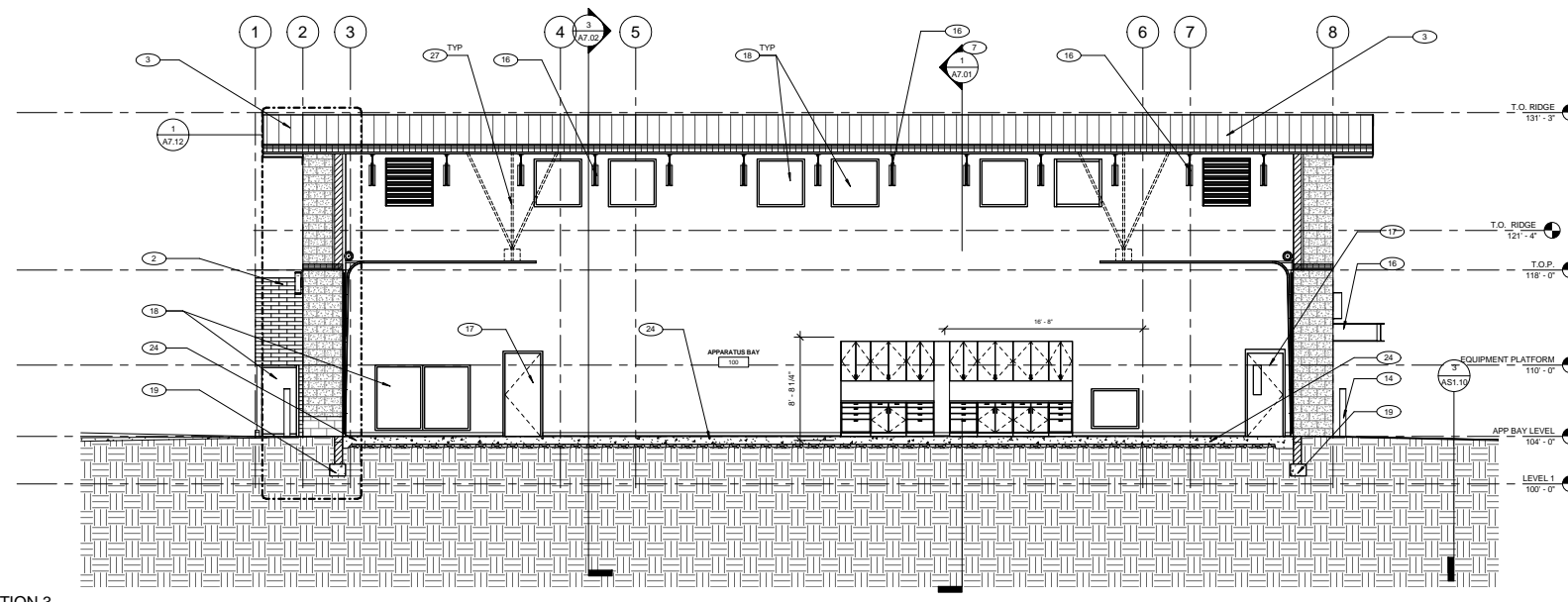
1 ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



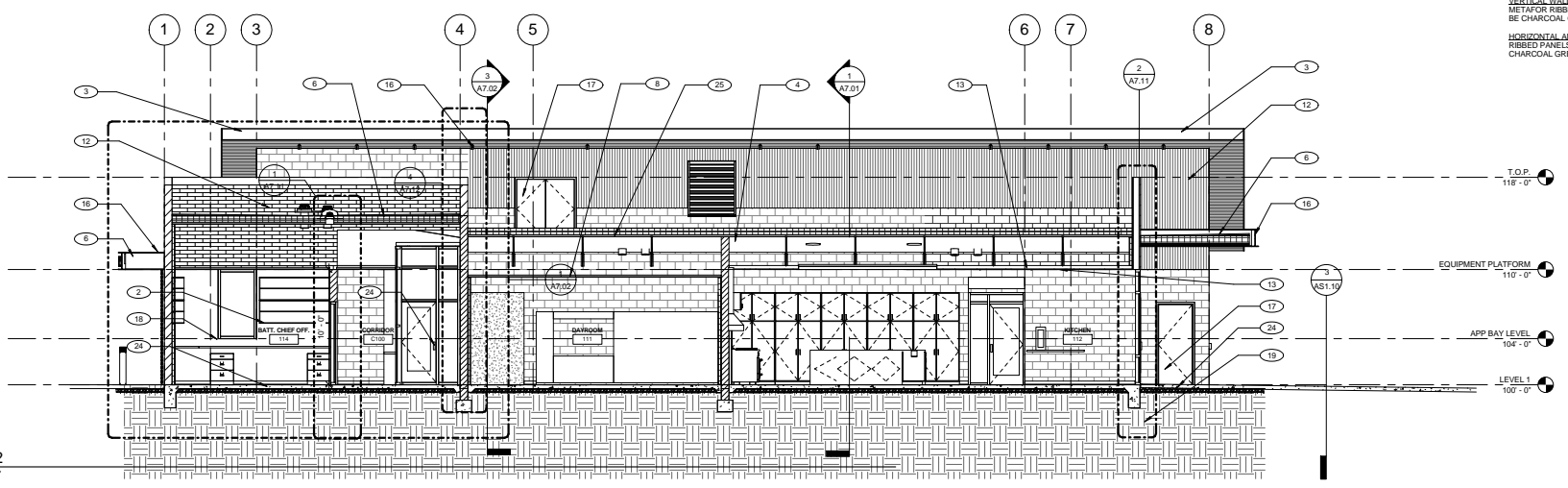
2 ELEVATION - WEST
SCALE: 1/8" = 1'-0"



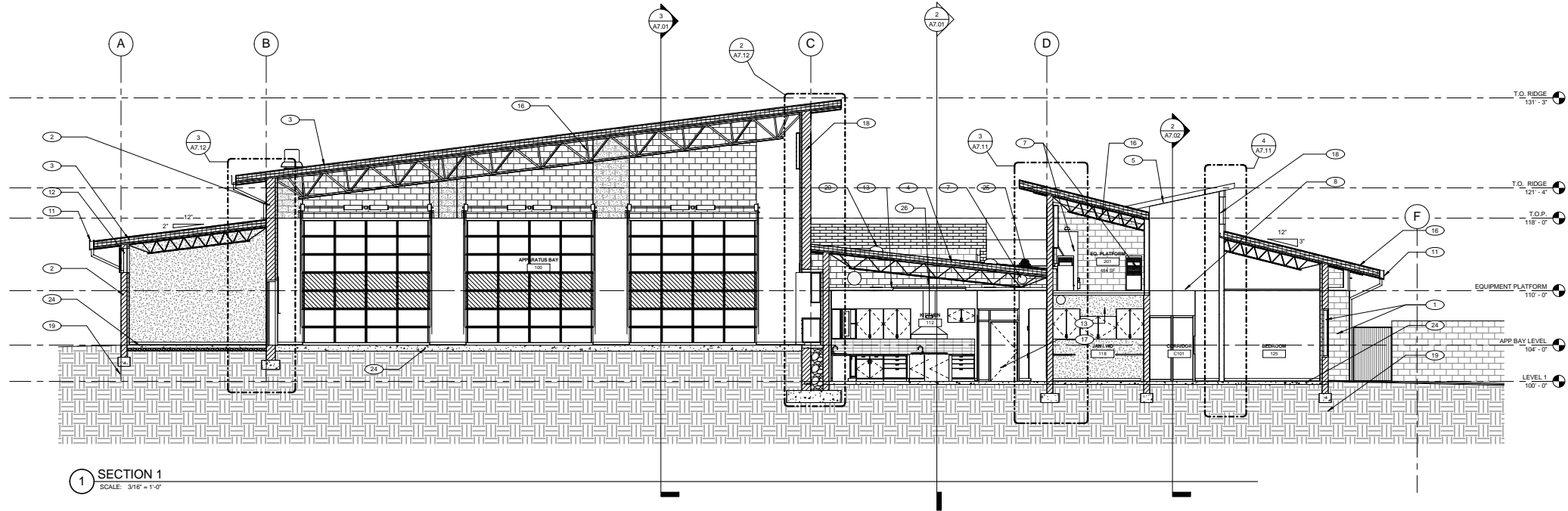
STATION #14
FOOTHILL RD & BROKEN HILL RD.
02/17/17



SECTION 3
SCALE: 3/16" = 1'-0"



SECTION 2
SCALE: 3/16" = 1'-0"



SECTION 1
SCALE: 3/16" = 1'-0"

WALL ASSEMBLY NOTES:
APPARATUS BAY PERIMETER WALLS: 12" CMU BLOCK WITH INSULATED CORES. BASIS OF DESIGN: BASALITE 120X16 UNITS IN RUNNING BOND PATTERN. SEE ELEVATIONS FOR CHANGES IN BLOCK TYPES.
APPARATUS BAY INTERIOR METAL FRAMED WALLS: TURNOUT STORAGE/DECON/MECHANICAL STORAGE/SCBA/EQUIPMENT SHOP WALLS TO BE 6" METAL STUDS (AT 24" O.C.) ON TOP OF 4" CONCRETE CURB. WALLS TO BE INSULATED WITH R-11 INSULATION AND FINISHED WITH FIBERGLASS REINFORCED PANELS (FRP) ON INTERIOR AND EXTERIOR SURFACES TO A HEIGHT OF 8'-6" AFF. PROVIDE SS CORNER GUARDS (3.5 X 3.5 X 4'-7") AT ALL EXPOSED OUTSIDE CORNERS. INTERIOR WALLS AT THESE ELEVATIONS TO BE APPROXIMATELY 10' IN HEIGHT. METAL FRAMED LIDS WITH SHEETROCK FINISH. SEE STRUCTURAL DRAWINGS FOR GAUGE AND SPACING. PROVIDE STRUCTURAL SUPPORT FOR FUTURE MEZZANINE LOADING.
RESIDENTIAL PORTION PERIMETER WALLS: 12" CMU BLOCK WITH 3-5/8" METAL STUDS (AT 24" O.C.) ON INTERIOR FACE WITH R-11 FIBERGLASS BATT INSULATION TO BOTTOM OF STRUCTURE ABOVE.
RESIDENTIAL PORTION INTERIOR WALLS: 3-5/8" METAL STUD FRAMING (AT 24" O.C.) WITH ALL WALLS TO RECEIVE SOUND ATTENUATION TO 12" ABOVE CEILING SYSTEMS. FINISH IN GYPSUM BOARD, TAPE, TEXTURE, AND PAINT. ALL OUTSIDE CORNERS TO RECEIVE S.S. CORNERS (3.5 X 3.5 X 4'-7").
RESIDENTIAL PORTION BEDROOM WALLS: 3-5/8" METAL STUD FRAMING (AT 24" O.C.) WITH ALL WALLS TO RECEIVE SOUND ATTENUATION TO 12" ABOVE CEILING SYSTEMS. FINISH IN WATER RESISTANT GYPSUM BOARD, WITH CERAMIC TILE TO 4'-0". TEXTURED/PAINTED GYPSUM BOARD WALLS ABOVE 4'-0".

ROOF ASSEMBLIES:
SLOPED METAL ROOFS: BASIS OF DESIGN: ATAS 2" FIELD LOK STANDING SEAM SYSTEM, OVER DENS DECK, OVER R-40 RIGID INSULATION, OVER METAL DECKING. PROVIDE WATERPROOF SHEET MEMBRANE AT 1:12 ROOF SLOPE.
LOW SLOPE ROOFING: BASIS OF DESIGN: PROVIDE 1/2" MINIMUM FIBERGLASS BACKING BOARD MECHANICALLY FASTENED FOR FM-490 RATED SYSTEM OVER AIR BARRIER MEMBRANE. PROVIDE A FULLY ADHERED WITH STAGGER JOINTS FOR A TOTAL VALUE OF 4-8. PROVIDE A 1/2" FACTORY PRIMED GLASS MAT FACED GYPSUM PROTECTION BOARD FULLY ADHERED - OVER INSULATION. PROVIDE A FULLY ADHERED 60 MIL FIBERGLASS REINFORCED PVC MEMBRANE WITH FACTORY LAMINATED FELT BACKING OVER THE PROTECTION BOARD. MEMBRANE COLOR TO BE ENERGY WHITE. INSTALL ALL COMPONENTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. PROJECT WARRANTY TO BE 30 YEARS.

VERTICAL WALL AND FASCIA PANELS: BASIS OF DESIGN: ATAS - METAFOR RIBBED PANELS, 232 ALUMINUM PANELS WIDTH 12". COLOR TO BE CHARCOAL GREY.
HORIZONTAL AND SLOPED SOFFIT PANELS: BASIS OF DESIGN: METAFOR RIBBED PANELS, 32 ALUMINUM 12" PANEL WIDTH COLOR TO BE CHARCOAL GREY.

GENERAL NOTES

- THESE DRAWINGS (ALL DISCIPLINES) ARE A COHESIVE SET OF DRAWINGS. EACH TRADE SHALL REVIEW ALL ARCHITECTURAL AND ENGINEERED DRAWINGS FOR INFORMATION THAT CROSSES OVER VARIOUS TRADES.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONFIRM EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH CONTRACT DOCUMENTS AS SOON AS POSSIBLE.
- REFER TO WALL TYPE AND LIFE SAFETY DRAWINGS FOR RATING SEPARATIONS AND RELATED DESIGN DRAWINGS FOR REQUIRED FIRE RESISTIVE CONSTRUCTION.
- SEE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, MASONRY OR CONC. UNLESS OTHERWISE NOTED.
- FURNITURE BY OWNER TO INCLUDE: BEDS, KITCHEN TABLES & CHAIRS, AND OFFICE CHAIRS.
- FOR COMPLETE DIMENSIONS SEE DIMENSION PLANS.
- FOR FLOORING TYPES AND CONTROL JOINTS SEE FINISH FLOOR PLAN, ROOM SCHEDULE AND MATERIAL LEGEND.

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KEYNOTES

- CONCRETE MASONRY (RUNNING BOND, CMU-2, SEE MATERIAL SCHEDULE)
- CONCRETE MASONRY UNIT (RUNNING BOND), CMU-1 SEE MATERIAL SCHEDULE
- ROOF ASSEMBLY SYSTEM "A"
- ROOF ASSEMBLY SYSTEM "B"
- NOT USED
- NOT USED
- MECHANICAL EQUIPMENT - SEE MECH. DWGS
- SUSPENDED ACOUSTICAL CEILING TILE SYSTEM
- GLASS FIBER BLANKET INSULATION
- TYP. CAP FLASHING @ CMU (POWDER COATED MATCH WALL COLOR)
- GUTTERS & DOWNSPOUTS - SEE ROOF
- CORRUGATED METAL WALL PANELS, MP-1 SEE MATERIAL SCHEDULE
- SUSPENDED GYPSUM BOARD CEILING SYSTEM
- 4" DIA. BOLLARD - SEE DETAIL 2/A51.02
- ASPHALT CONCRETE - SEE CIVIL DWGS
- STEEL STRUCTURE - SEE STRUCT. DWGS
- DOOR - SEE DOOR SCHEDULE
- WINDOW - SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
- FOOTING - SEE STRUCT. DWGS
- TUBULAR SKYLIGHT
- MASONRY CAP - SEE DETAIL
- WATERPROOFING COATING MATERIAL PER SPECIFICATIONS
- CONCRETE SIDE WALK
- CONCRETE SLAB ON GRADE - SEE STRUCT. DWGS
- OVERHEAD 4X8 WOOD CEILING
- SUPERHEAD DOOR TRACK W/ MOTOR SUPPORT
- 100X16 CMU UP TO 10'-0", CLR TO MATCH CMU-3, 80X16 STANDARD CMU TO ROOF DECK AVY. 10'-0"

LEGEND

50% CD/ ESTIMATE PACKAGE

REV	DATE	DESCRIPTION

Sheet Title
BUILDING SECTIONS

Date: 01.25.2017
Sheet No:
A7.01

tsk
 225 South Arlington Avenue
 Reno NV, 89501
 phone: 775.857.2949
 fax: 775.857.2403
 www.tska.com

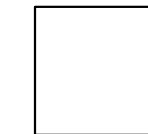
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Project
STATION #14

FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511

Job No: 14-095.00
Owner
TMFPD - STATION 14

PLEASE RECYCLE



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PLEASE RECYCLE

Project

STATION #14

FOOTHILL RD. &
BROKEN HILL RD.
RENO, NV 89511

Job No: 14-095.00

Owner

TMFPD - STATION 14

50% CD/ ESTIMATE
PACKAGE

REV	DATE	DESCRIPTION	REVISIONS

Sheet Title

BUILDING SECTIONS

Date: 01.25.2017

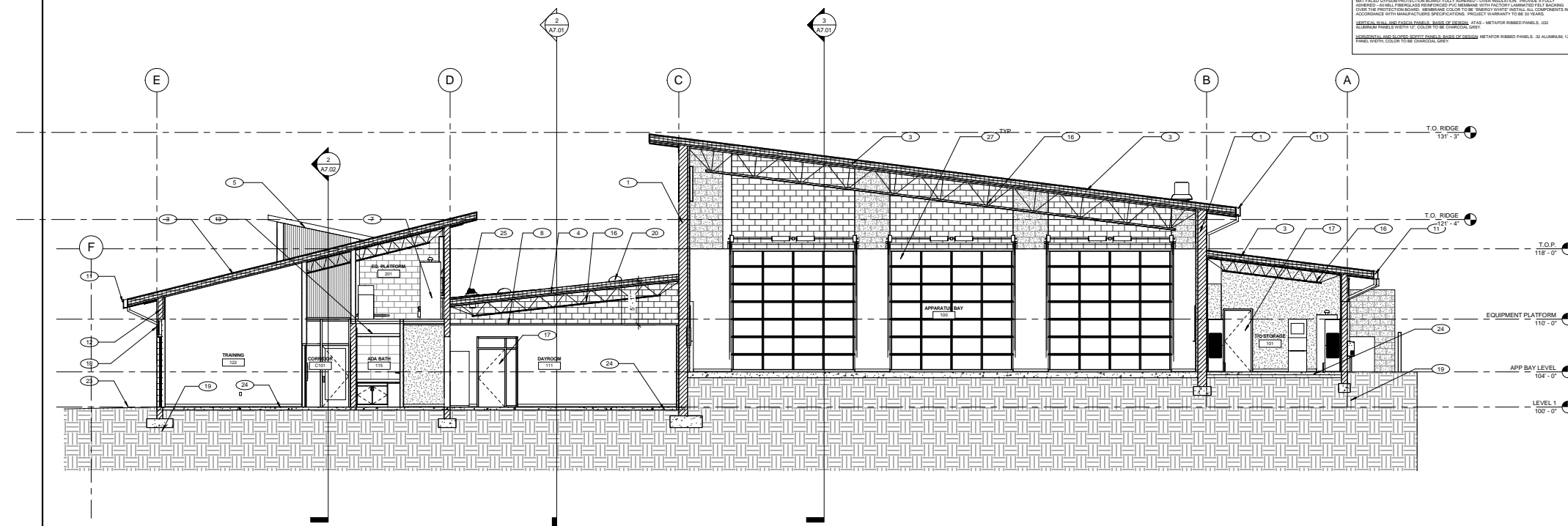
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A7.02

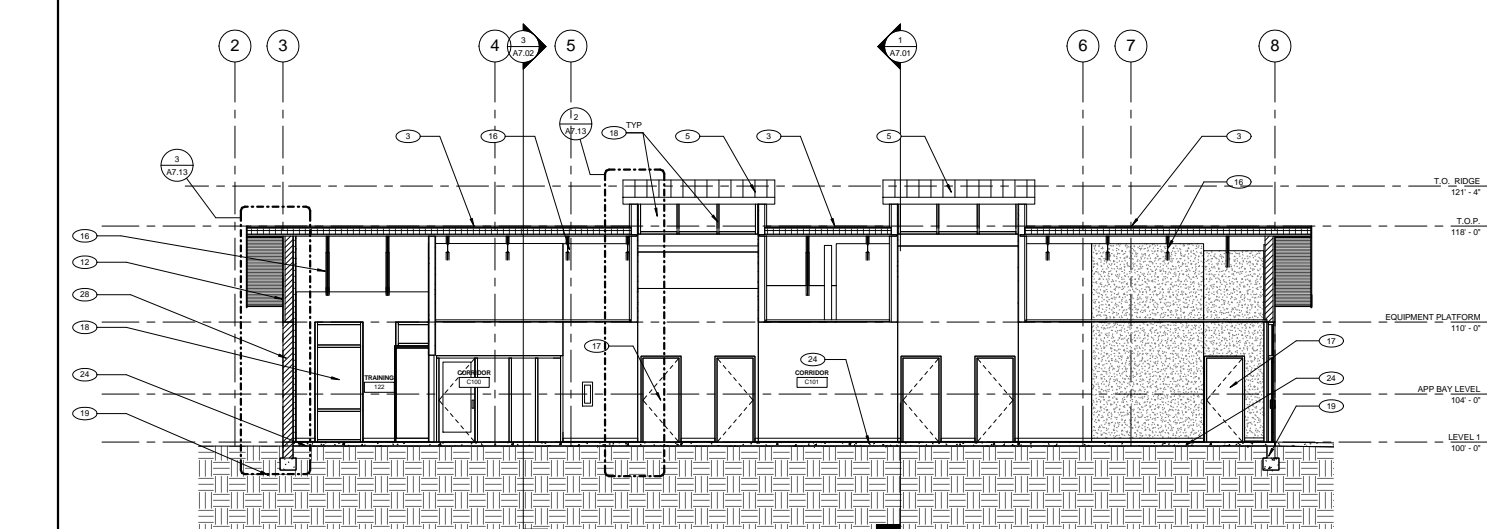
- ### GENERAL NOTES
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 8. FOR COMPLETE DIMENSIONS SEE DIMENSION PLANS.
 9. FOR FLOORING TYPES AND CONTROL JOINTS SEE FINISH FLOOR PLAN, ROOM SCHEDULE AND MATERIAL LEGEND.

- ### KEYNOTES
1. CONCRETE MASONRY (RUNNING BOND), CMU-2, SEE MATERIAL SCHEDULE
 2. CONCRETE MASONRY UNIT (RUNNING BOND), CMU-1 SEE MATERIAL SCHEDULE
 3. ROOF ASSEMBLY SYSTEM "A"
 4. ROOF ASSEMBLY SYSTEM "B"
 5. NOT USED
 6. NOT USED
 7. MECHANICAL EQUIPMENT - SEE MECH. DWGS
 8. SUSPENDED ACoustICAL CEILING TILE SYSTEM
 9. GLASS FIBER BLANKET INSULATION
 10. TYP. CAP FLASHING & CMU POWDER COATED MATCH WALL COLOR
 11. GUTTERS & DOWNSPOUTS - SEE ROOF
 12. CORRUGATED METAL WALL PANELS, MP-1 SEE MATERIAL SCHEDULE
 13. SUSPENDED GYPSUM BOARD CEILING SYSTEM
 14. 6" DIA. BOLLARD - SEE DETAIL 2/AS1.02
 15. ASPHALT CONCRETE - SEE CIVIL DWGS
 16. STEEL STRUCTURE - SEE STRUCT. DWGS
 17. DOOR - SEE DOOR SCHEDULE
 18. WINDOW - SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
 19. FOOTING - SEE STRUCT. DWGS
 20. TUBULAR SKYLIGHT
 21. MASONRY CAP - SEE DETAIL
 22. WATERPROOFING COATING MATERIAL PER SPECIFICATIONS
 23. CONCRETE SIDE WALK
 24. CONCRETE SLAB ON GRADE - SEE STRUCT. DWGS
 25. ROOF DRAIN AND OVERFLOW - SEE ARCHITECTURAL AND PLUMBING DRAWINGS
 26. SUSPENDED 4X8 WOOD CEILING
 27. OVERHEAD DOOR TRACK W/ MOTOR SUPPORT
 28. 10X8X16 CMU UP TO 10'-0". CLR TO MATCH CMU-1, 8X8X16 STANDARD CMU TO ROOF DECK, ABV. 10'-0"

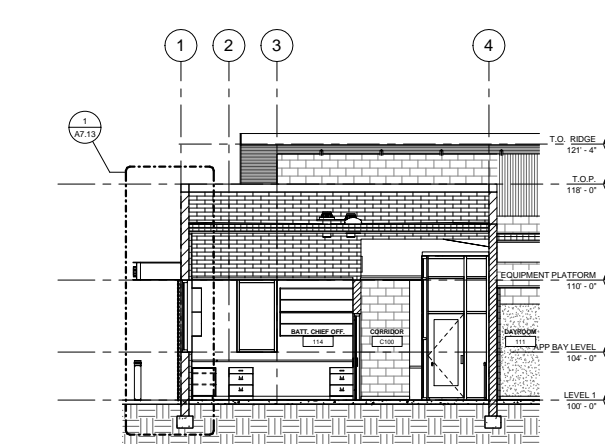
WALL ASSEMBLY NOTES
EXTERIOR WALL ASSEMBLY: 4" CMU BLOCK WITH INSULATED CORE, BASE OF EXTERIOR MASONRY SHALL BE ON 12" WIDE FOUNDATION. SEE ELEVATIONS FOR CHANGE IN BLOCK TYPES.
INTERIOR WALL ASSEMBLY: 8" CMU BLOCK WITH INSULATED CORE, THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS. THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS. THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS.
ROOF ASSEMBLY: 1/2" CORRUGATED METAL SHEETING WITH 2" MIN. INSULATION OVER METAL SHEETING. PROVIDE WATERPROOF SHEET MEMBRANE AT T.O.P. OF ROOF.
CEILING ASSEMBLY: 5/8" METAL STUD FRAMING AT 24" O.C. WITH ALL WALLS TO RECEIVE SOUND BATT INSULATION ABOVE CEILING SYSTEM. PROVIDE 1/2" MIN. CLEARANCE FROM STUD WALLS. THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS.
FLOORING: 4" CONCRETE SLAB ON GRADE WITH 1" MIN. INSULATION BELOW. PROVIDE 1/2" MIN. CLEARANCE FROM STUD WALLS. THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS.
FOUNDATION: 12" WIDE FOUNDATION FOR ALL EXTERIOR WALLS. PROVIDE 1/2" MIN. CLEARANCE FROM STUD WALLS. THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS.
DOOR AND WINDOW: ALL DOORS AND WINDOWS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS. THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS.
FINISH: ALL FINISHES SHALL BE AS NOTED. PROVIDE 1/2" MIN. CLEARANCE FROM STUD WALLS. THROUGH STUD WALLS SHALL BE 1/2" MIN. CLEARANCE FROM STUD WALLS.



3 SECTION 6
SCALE: 3/16" = 1'-0"

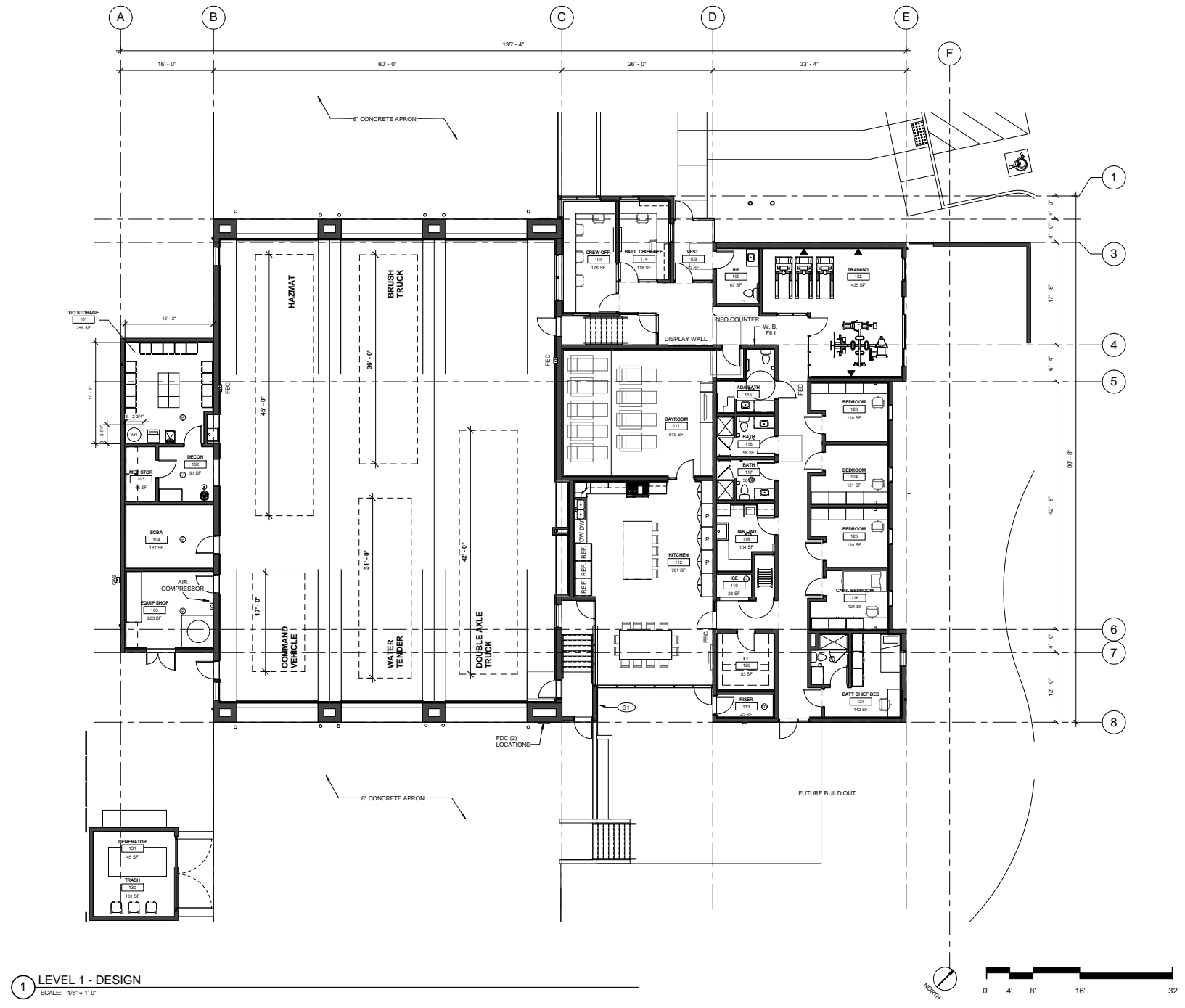


2 SECTION 5
SCALE: 3/16" = 1'-0"



1 SECTION 4
SCALE: 3/16" = 1'-0"

TMFPD - STATION 14 FLOOR PLAN



1 LEVEL 1 - DESIGN
SCALE: 1/8" = 1'-0"



STATION #14
FOOTHILL RD & BROKEN HILL RD.
02/17/17

TMFPD - STATION 14
PERSPECTIVE - BROKEN HILL



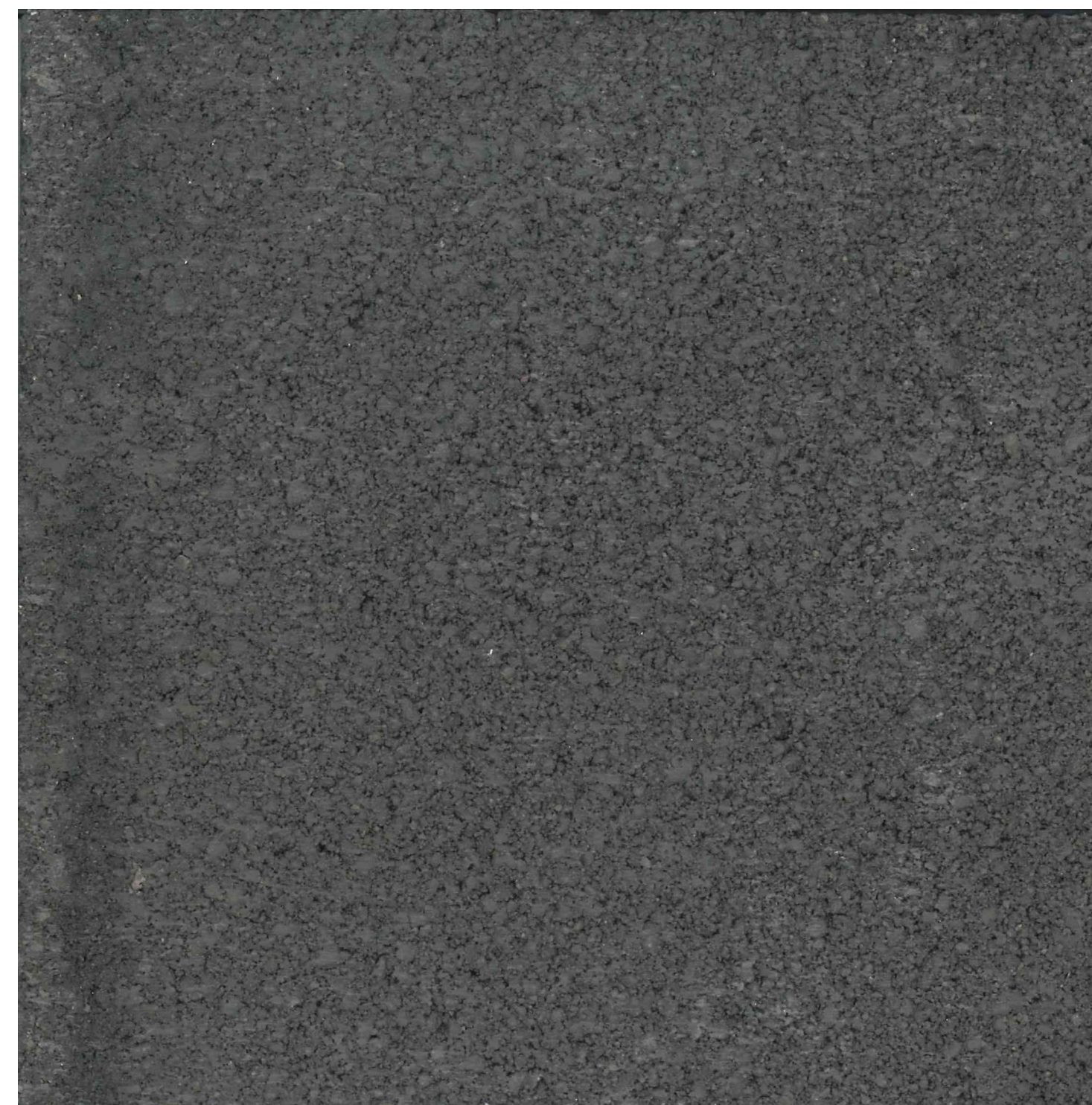
TMFPD - STATION 14
PERSPECTIVE - ENTRY ON FOOTHILL DRIVE



TMFPD - STATION 14
PERSPECTIVE - FOOTHILL DRIVE



TMFPD STATION #14
EXTERIOR MATERIALS



CMU-3 AT RESIDENTIAL AND SHOP SPACES

Basalite #112D Precision Faced Block: Dark Gray



METAL RIBBED ROOFING PANELS

Garland - Sterling Silver



CMU-2 AT APPARATUS BAY AND SCREEN WALLS

Basalite #125 Precision



METAL WALL PANELING

IMETCO - Charcoal



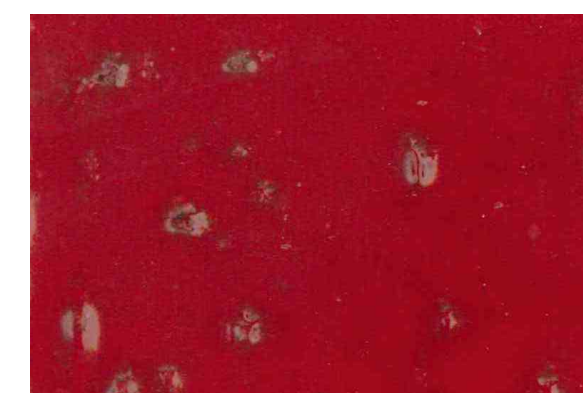
CMU-2 WALL GROUT

BASALITE AMERIMIX - GROUT #619



CMU-3 GROUT

BASALITE AMERIMIX - GROUT #112D



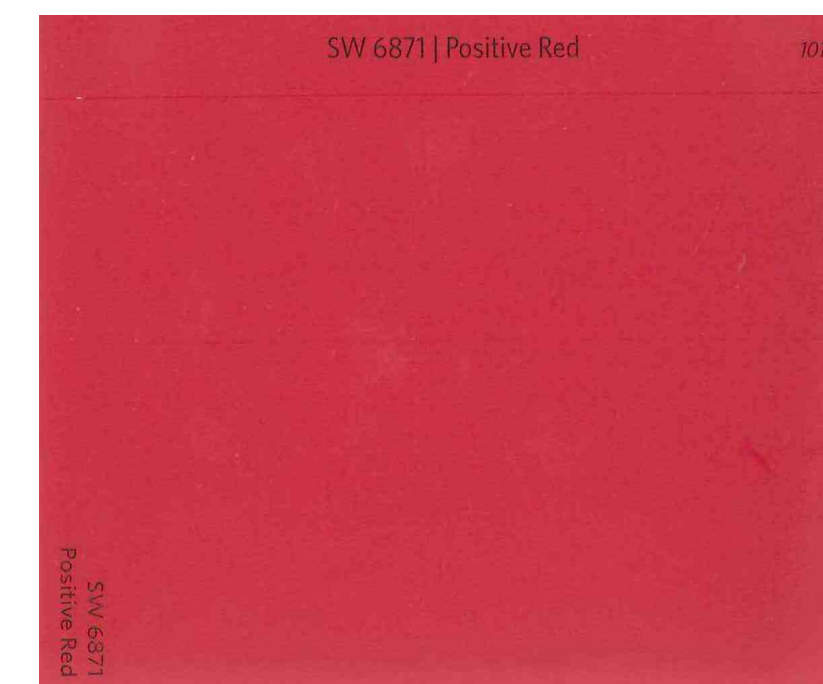
ENTRY ACCENT BRICK

Pacific Clay - Glazed Red Brick



ENTRY BRICK

HC Muddox - California Rose Thin Brick



EXTERIOR RED PAINT

SHERWIN WILLIAMS PAINT - POSITIVE RED

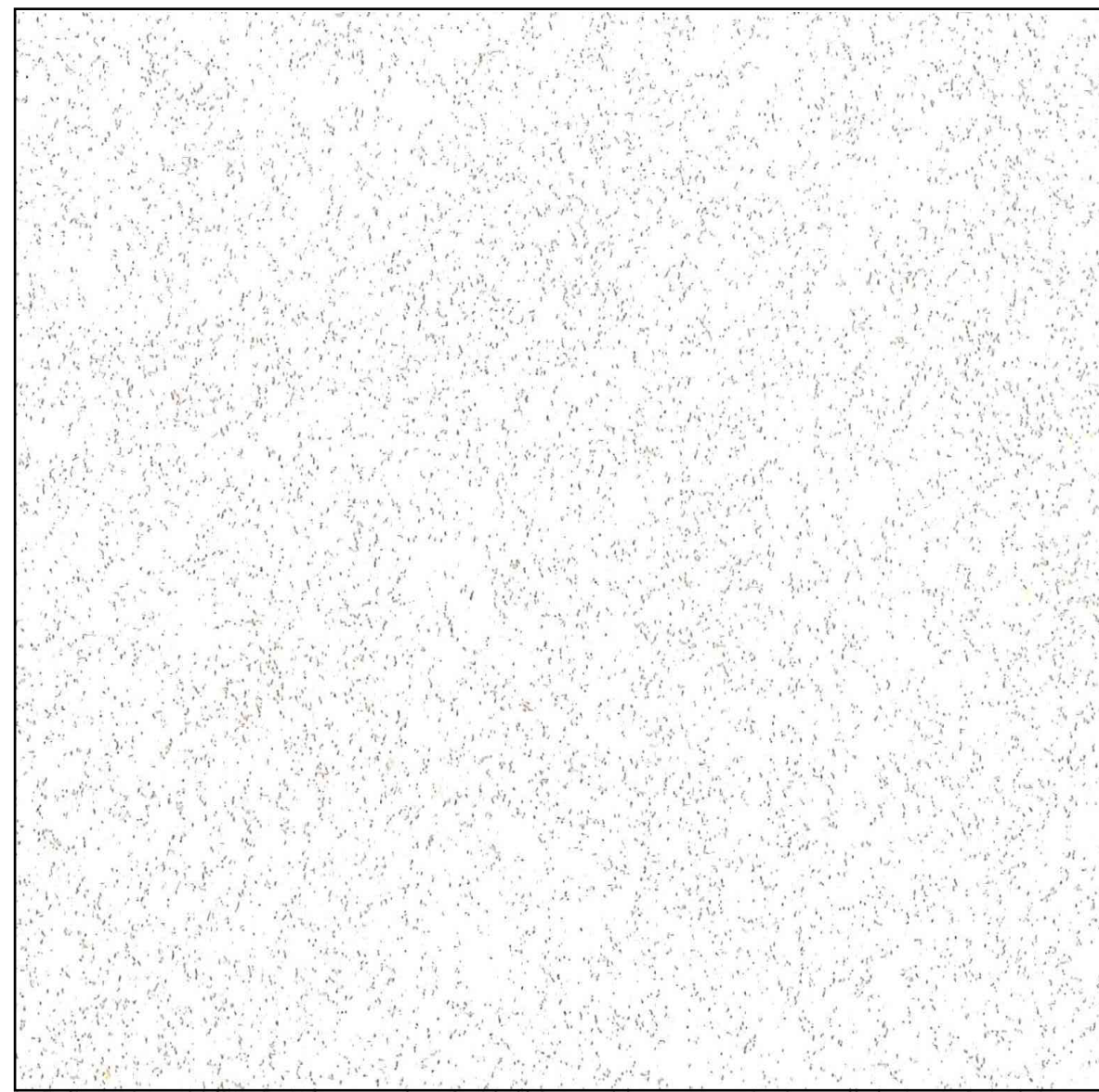


TMFPD STATION 14

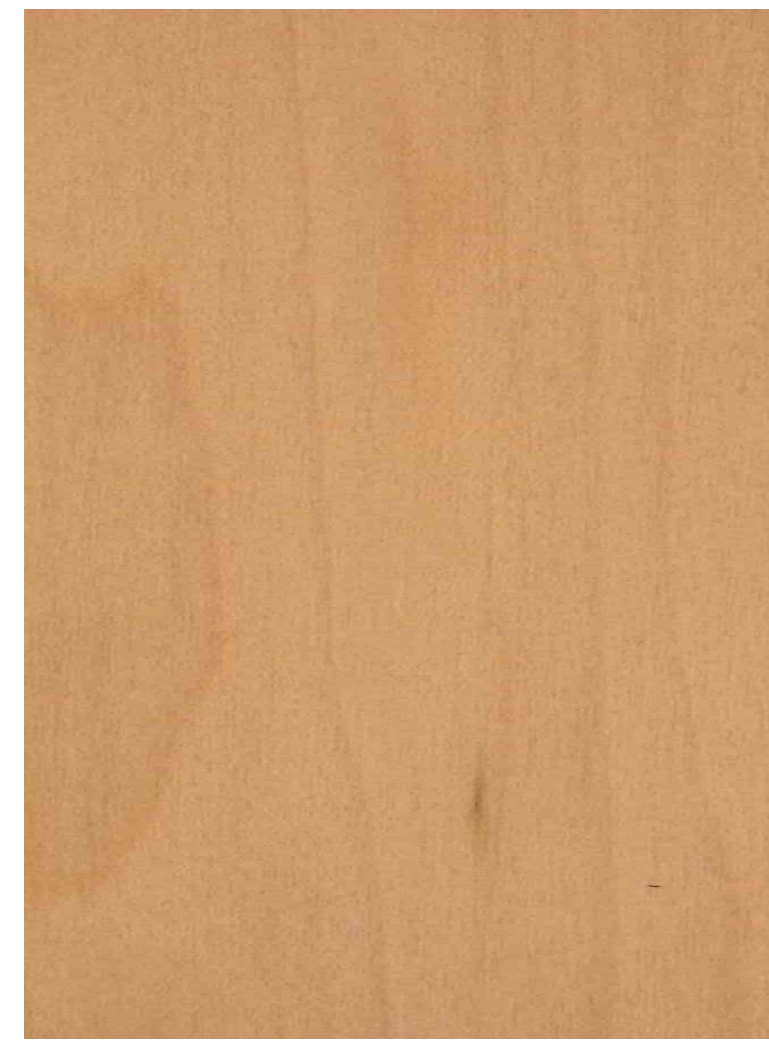
Reno, Nevada

February 17th, 2017

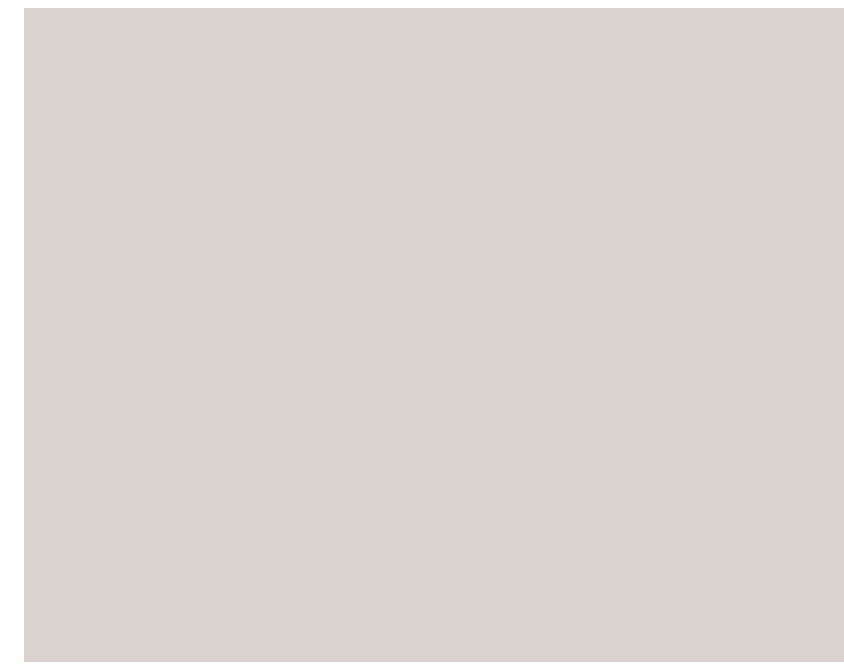
TMFPD STATION #14
INTERIOR MATERIALS



ALL CEILING TILES EXCEPT KITCHEN
 ARMSTRONG - OPTIMA: TEGULAR PANELS, 30X30 AND 30X60



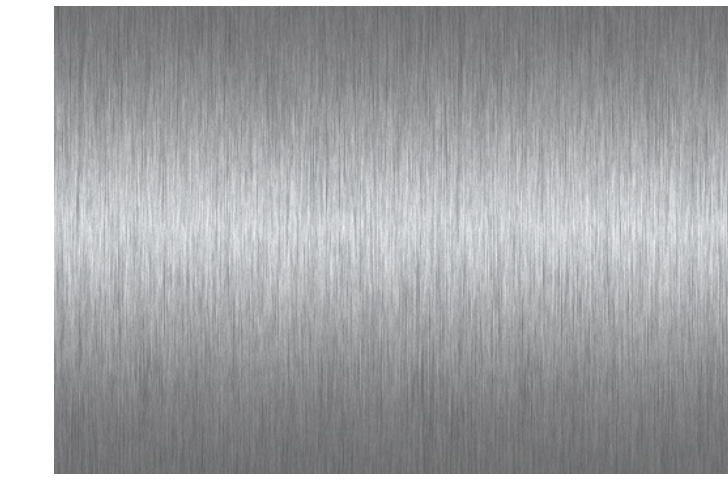
KITCHEN ACCOUSTIC WOOD CEILING TILES
 ARMSTRONG - VECTOR: SOLID MAPLE



BATHROOM, OFFICE, TRAINING, APPARATUS BAY, ACCESSORY SPACES.
FIELD MAIN PAINT
 SHERWIN WILLIAMS - CRUSHED ICE



ACCENT PAINT
 SHERWIN WILLIAMS PAINT - AQUITAINE



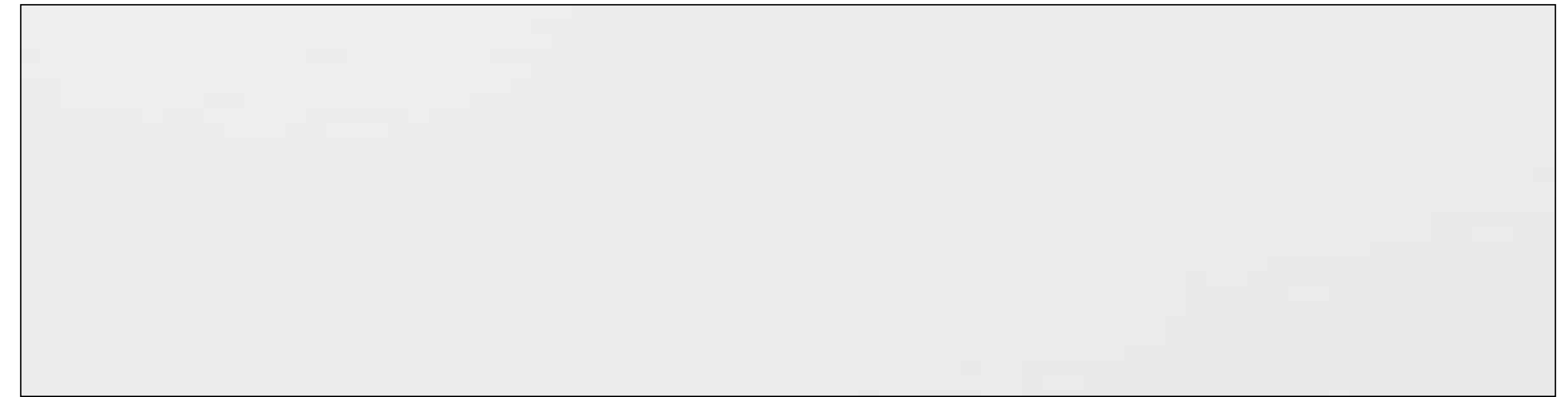
KITCHEN APPLIANCES
 STAINLESS STEEL FINISHES



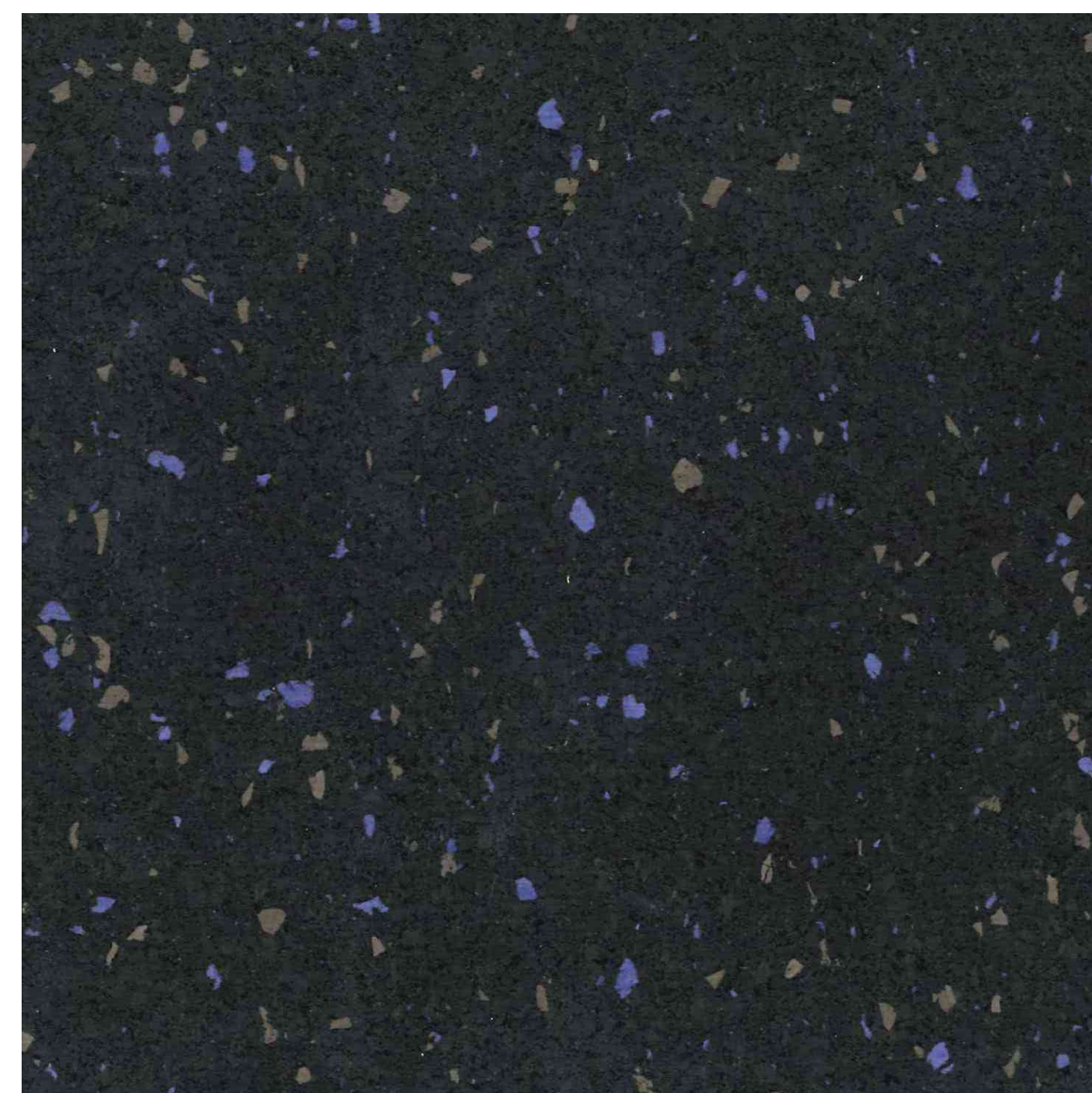
SHOWER WALL PANEL AND SHOWER PANS
 SILESTONE - NIEBLA



BATHROOM WALL TILE
 DAL TILE: CARBON



KITCHEN BACKSPLASH
 DAL TILE: LUNAR GLOSSY



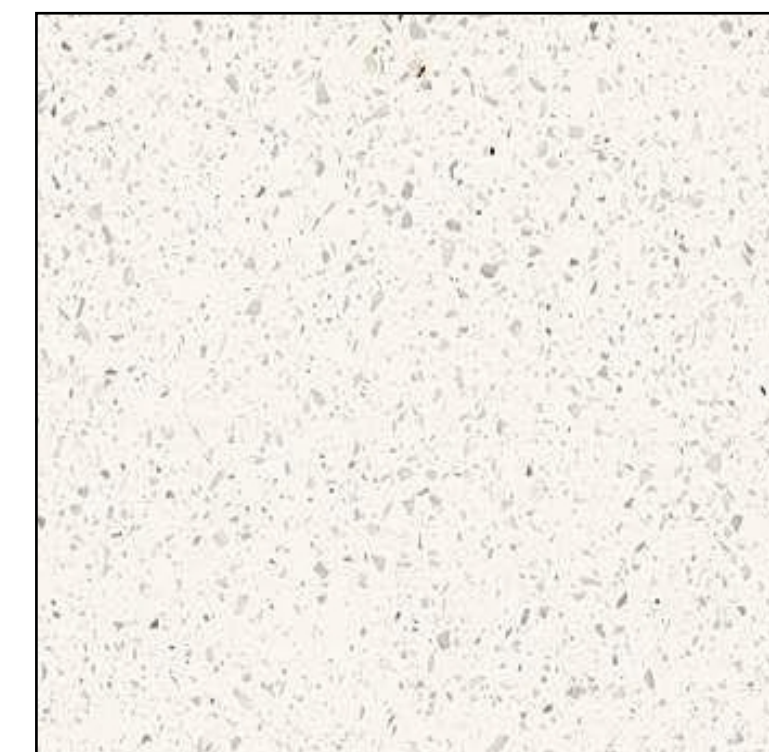
FITNESS AREA FLOORING
 JOHNSONITE - BLUESTONE SPORTS FLOORING



VERTICAL CASEWORK
 FORMICA - PLANKED DELUXE PEAR: ARTISAN FINISH



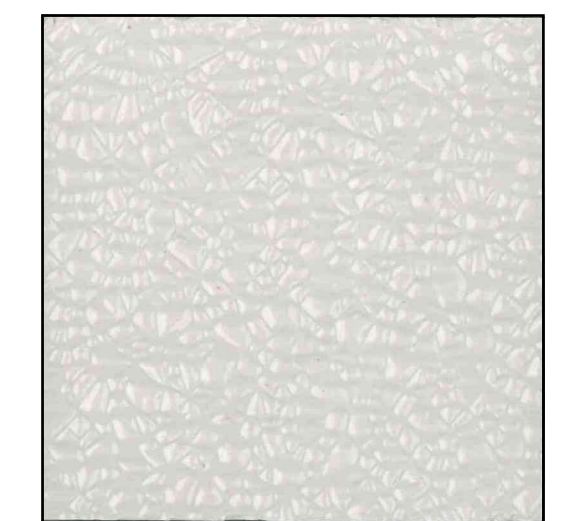
COUNTER TOP (ALONG WALLS)
 STAINLESS STEEL



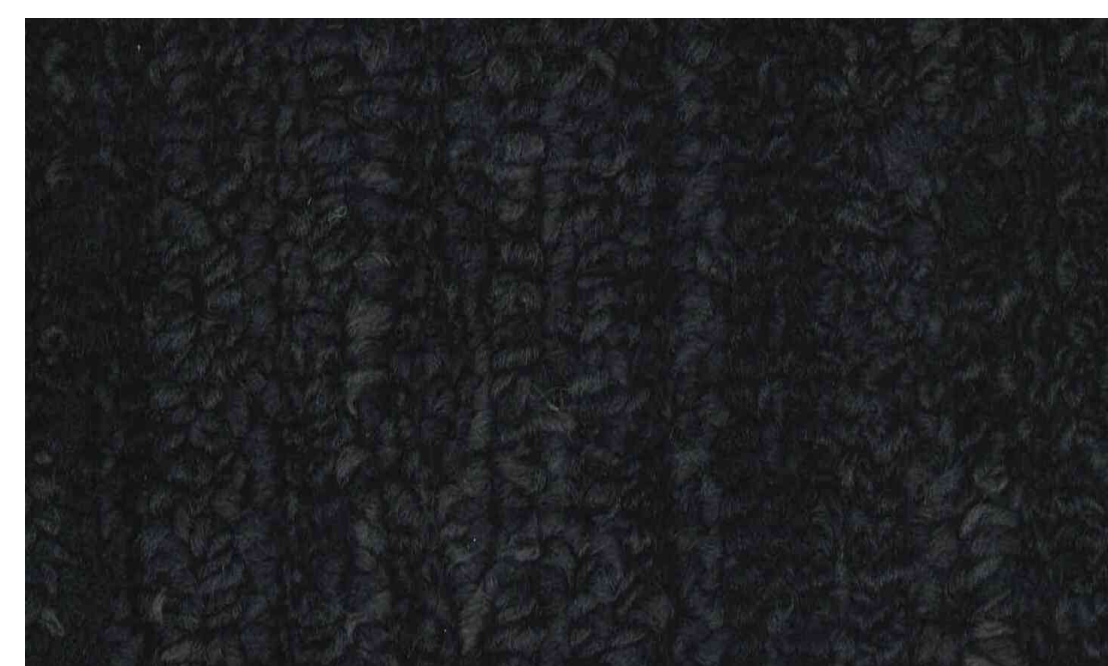
ISLAND AND BATHROOM COUNTERTOPS
 DUPONT - ZODIAQ: CLOUD WHITE



OFFICE AND WORK SPACE TABLE TOPS
 FORMICA SOLID SURFACING - LUNA WEATHER



FRP AT APPARATUS BAY
 MARLITE - FRP LIGHT GRAY



OFFICES, BEDROOMS CARPET FLOORING
 SHAW RESURFACE TILES: EXTRAORDINARY - IRONSTONE

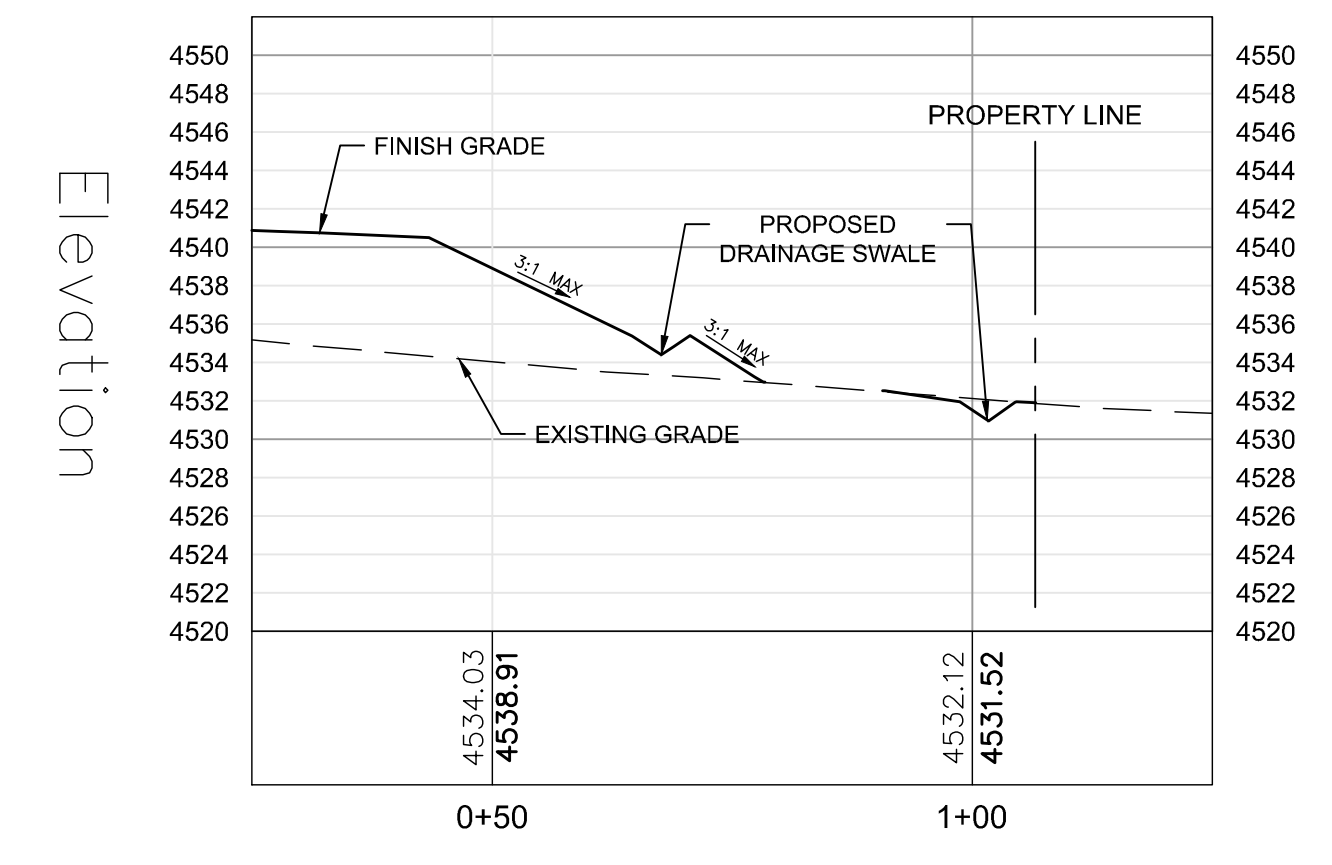
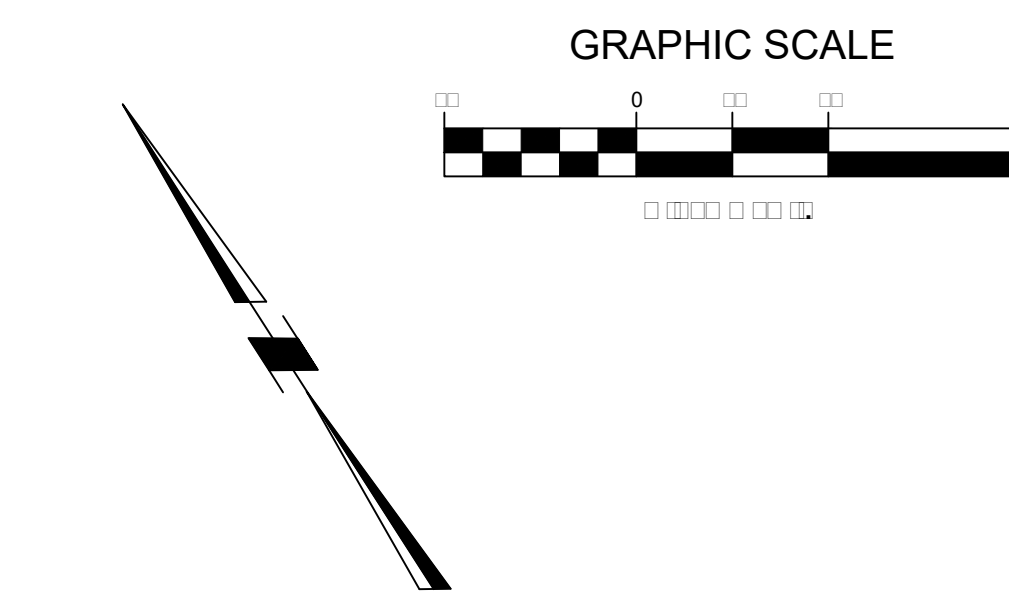
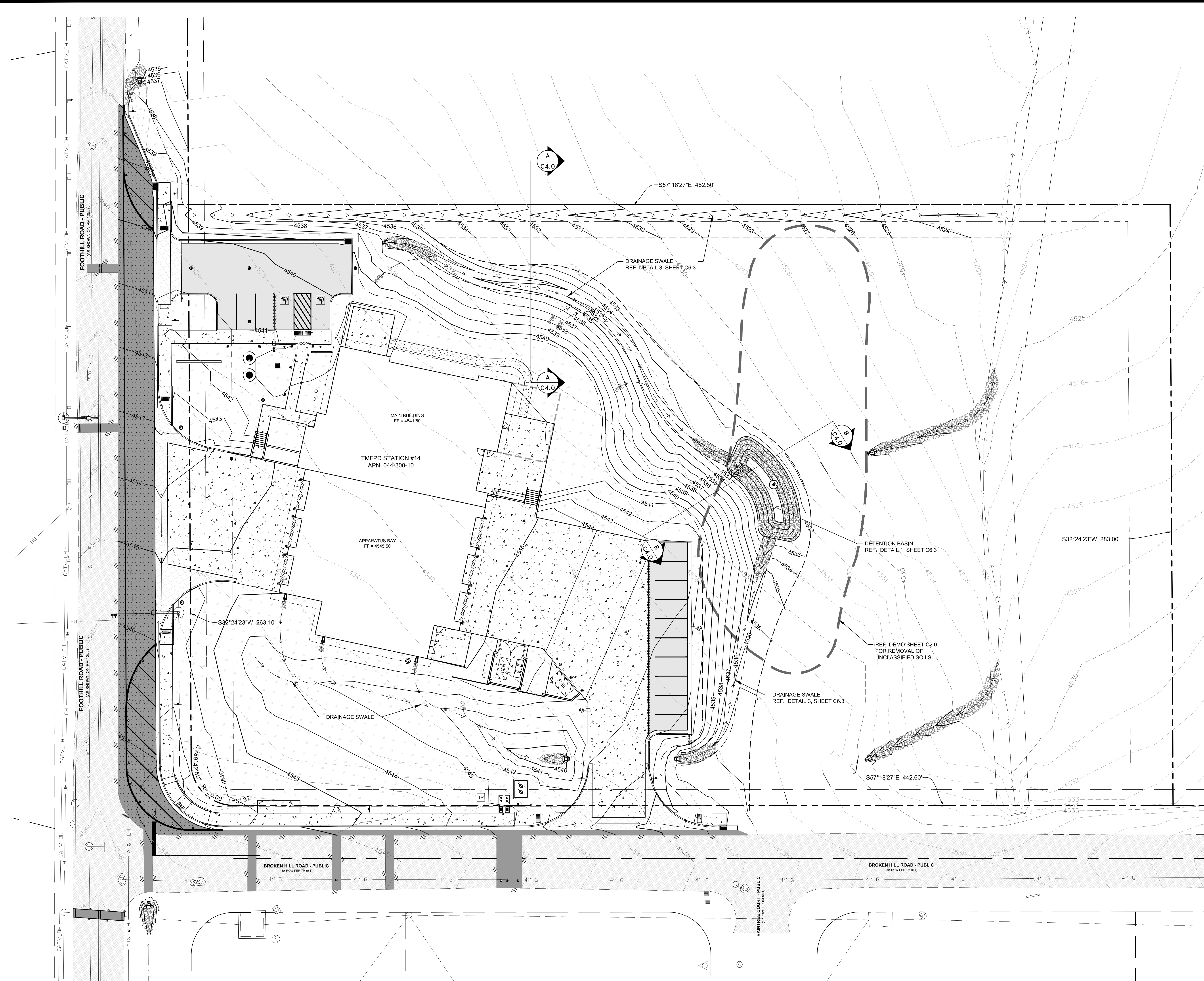


RESIDENTIAL BASE
 BURKE FLOORING MODEST 4.5" RUBBER BASE: 217 CHARCOAL

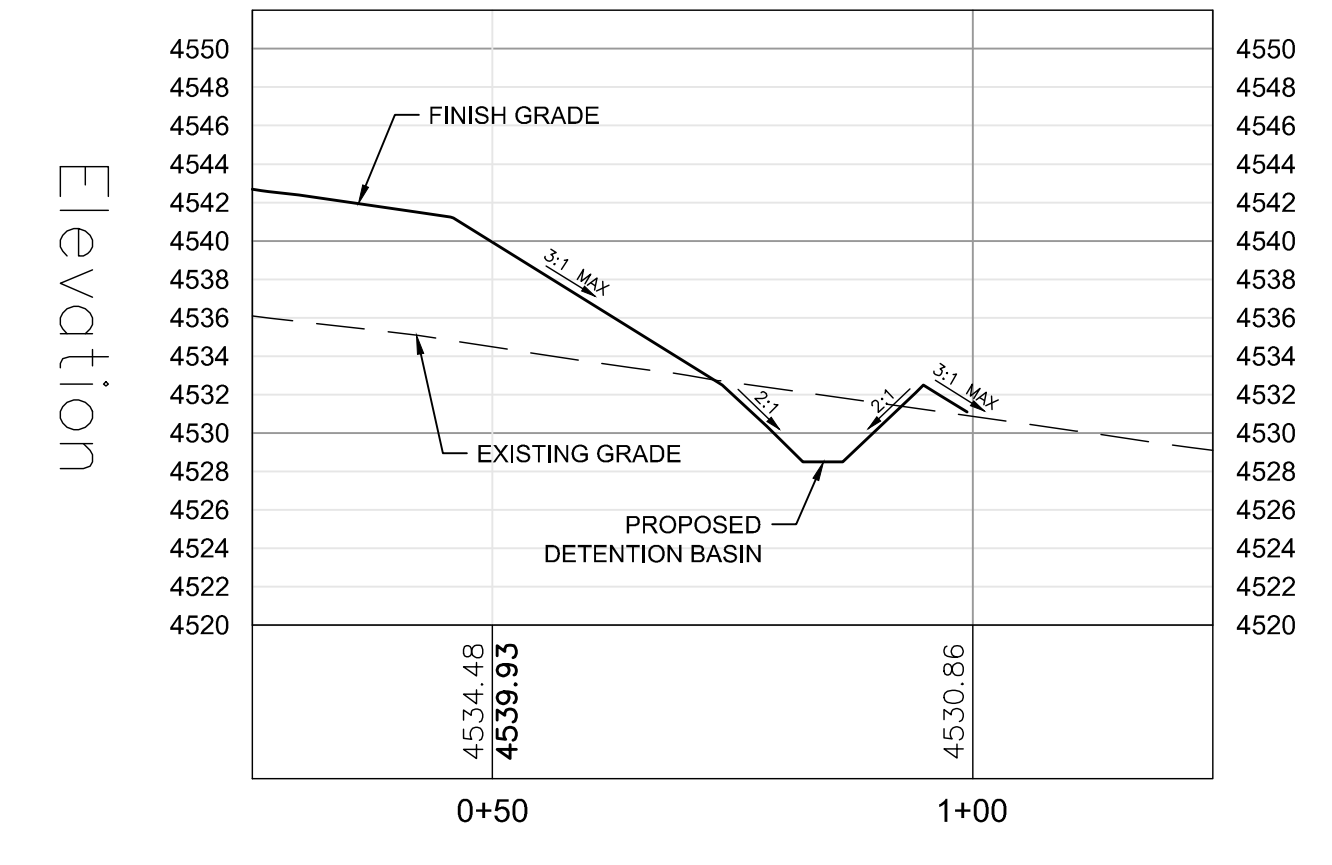


TMFPD STATION 14
Reno, Nevada

February 17th, 2017



SECTION A-A
SCALE: 1" = 20'
VERT: 1" = 2'



SECTION B-B
SCALE: 1" = 20'
VERT: 1" = 2'

GRADING PLAN
SCALE: 1" = 20'

LEGEND

	PROPOSED CONCRETE		PROPOSED LANDSCAPE AREA
	PROPOSED COMMERCIAL DRIVEWAY		PROPOSED RIPRAP ENERGY DISIPATION
	PROPOSED ASPHALT CONCRETE PAVEMENT - HEAVY TRAFFIC		PROPOSED DECOMPOSED GRANITE PATHWAY REF. LANDSCAPE PLANS
	PROPOSED ASPHALT CONCRETE PAVEMENT - PERMANENT PATCH		PROPOSED DRAINAGE SWALE
	PROPOSED ASPHALT CONCRETE PAVEMENT - PARKING		EXISTING ASPHALT ROADWAY

CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVALS FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.
4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.
5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

DD PLAN SET
02-03-2017

<p>PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS SURVEYORS • CONSTRUCTION INSPECTION</p> <p>cfa</p> <p>1150 CORPORATE BLVD. RENO, NV 89502 (775) 856-1150 FAX: (775) 856-1180 WWW.CFARENO.COM</p>	<p>TRUCKEE MEADOWS FIRE PROTECTION DISTRICT STATION #14 OVERALL GRADING PLAN FOOTHILL ROAD & BROKEN HILL ROAD RENO, NV 89511</p>
<p>PROFESSIONAL SEAL:</p> <p>PRELIMINARY NOT FOR CONSTRUCTION</p>	<p>NEVADA</p> <p>JOB NO. 15023.01 DATE 02-03-2017 SHEET C4.0 21</p>

Broken Hill Rd

Foothill Rd





Broken Hill Rd

Cresthill Rd



















Broken Hill Rd
Foothill Rd